ʔaqʔam

Department of Facilities and Operations

REQUEST FOR PROPOSAL

ʔaqʔamnikʔ Residential Home Construction

Issue Date: January 13, 2025
Closing Date: February 22, 4:00 pm (Mountain Standard Time)
Closing Location: ʔaq̓am, 7500 Mission Road, Cranbrook BC V1C 7E5.
Attention: Nicole Halasz: Director of Facilities & Infrastructure
Email: nhalasz@aqam.net

INTRODUCTION

ʔaq̓am (pronounced ak-am) is a First Nation community government organization that services over 350 Band Members and other aboriginal peoples within the Ktunaxa Nation. Geographically, the community is located 8km North of Cranbrook in the East Kootenay region of British Columbia.

The ʔaq̓am community, located near Cranbrook, BC, is seeking proposals from qualified contractors for the reconstruction of three residential homes destroyed in the July 2023 wildfire. The rebuild aligns with the community's commitment to sustainable development and adherence to BC Building Code standards.

This project aims to provide safe, energy-efficient housing for affected families while ensuring construction completion by the end of 2025. Proposals must include a timeline that reflects this target.

www.aqam.net

PROPOSAL OVERVIEW AND REQUIREMENTS

Proposal Overview

ʔaq̓am is seeking quotes from qualified contractors for the construction of 3 residential properties located at ʔaq̓am – Kootenay IR 1. The project involves building 3 separate Single-family homes built to BC Building code to STEP code three or better with progress inspections completed by RDEK. Sites have been remediated with fire debris removed and soil safety ensured by a reputable firm.

Scope of Work

Construction of 3 separate single-family homes to be located at:

5320 Mission Wasa Low Road
5451 Mission Wasa Low Road
5480 Mission Wasa Low Road

1. Site Preparation:

Remediation: All sites have been remediated by certified disaster recovery professionals to ensure compliance with environmental and safety standards under **Division B, Part 4: Structural Design**, which outlines requirements for soil stability and grading.

Grading: Any additional grading must comply with **Division B, Section 4.1.5**, which addresses site preparation to ensure adequate drainage and foundation stability. Landscaping is excluded.

2. Foundation Construction:
Concrete Foundations:

- Must be designed and constructed in compliance with **Division B, Part 9.15**, which covers foundation requirements, including structural integrity and resistance to frost heave.
- Concrete mix and reinforcement must meet **Table 9.3.1.6.A** for strength and durability.
- Foundation drainage systems must adhere to **Section 9.14.2** to prevent water accumulation and ensure longevity.
- Energy Performance: Foundations must align with **BC Energy Step Code Level 3 or higher**, as defined in **Section 9.36** for energy efficiency.

3. Framing and Exterior Work:
Exterior Walls:

- Must include **R-24 insulation**, as per **Table 9.36.2.6.A**, which specifies effective thermal resistance requirements for exterior walls in climate zones.
- Use of Comfort 80 or equivalent insulation ensures compliance with Step Code requirements for thermal performance.

Hardie Board Siding:

- Installation must comply with **Section 9.27.13**, which governs cladding attachment, durability, and weatherproofing.

Roofing:

- Shingle roofs must meet fire resistance and wind uplift standards under **Section 9.26.2**.
- Solar panel tie-ins must adhere to provisions in **9.34.3.6**, ensuring readiness for renewable energy systems.

4. Interior Work:
Mechanical Systems:

- Heat pumps and Valley Comfort wood/electric furnaces must comply with **Section 9.32**, which governs ventilation, heating, and cooling systems.
- Ductwork must align with **9.32.3** for airflow efficiency and integration with renewable energy systems (solar panels).
- Woodstove accommodations and venting plans must comply with **9.32.4**, which sets standards for solid fuel-burning appliances and air quality.

Interior Finishes:

- Trim packages, paint, and ceiling finishes must follow **Section 9.29**, which outlines requirements for material durability, fire resistance, and acoustic performance.

5. Inspections:

Progress Inspections:

- Conducted by the Regional District of East Kootenay (RDEK) as required under **Division C, Section 2.2**, which specifies inspections for code compliance during construction stages.
- Documentation and certification must align with **Part 2.2.7** for project completion.

6. Energy Efficiency – BC Energy Step Code

Under the **BCBC Part 9.36**, Step Code Level 3 includes:

- **Thermal Performance:** Ensuring walls, roofs, and foundations achieve required R-values or U-values.
- **Air Tightness Testing:** Achieving target air leakage rates during blower door testing (detailed in Step Code compliance guide).
- **Renewable Energy Readiness:** Solar panel tie-ins and renewable energy system accommodations.

7. Cultural and Indigenous Engagement Considerations

Cultural Sensitivity in Workspaces

- Collaborate with local Indigenous representatives from the ʔaq̓am community to ensure consistent and frequent communication while the project is occurring

Employment and Training Opportunities

- Engage Ktunaxa based companies and laborers where possible

Proponents should clearly indicate in the subject line and on the package the RFP title and submit to the following address by 4.00pm (MST) February 22, 2024

Attention: Nicole Halasz: Director of Facilities & Infrastructure
ʔaq̓am Administration Building
Mailing address: 7470 Mission Road, Cranbrook BC V1C7E5
Email: nhalasz@aqam.net

Proposals can be submitted in either hardcopy or electronic format.
Hard copies of the proposals (unbound and are suitable for photocopying)
An electronic copy which can be on a memory stick or emailed in PDF.

- Proposals and accompanying documentation provided to ʔaq̓am in response to this RFP will not be returned.
- Any costs or fees incurred by the proponent to submit a proposal are the sole responsibility of the proponent.
- No contract or agreement is created by the submission of a proposal.
- ʔaq̓am has the right to refuse all submissions, at its sole discretion.

TIMELINES

Anticipated Schedule of events.

a) RFP released January 13, 2025
b) Closing date 4:00pm (MST) February 22, 2025
c) Evaluation and Selection of proponent (February 2025)
d) Award, if successful proponent identified (March 2025)
f) Completion- Must be completed prior to December 2025

SELECTION/EVALUATION PROCESS

The proposal will be reviewed by ʔaq̓am and will use the following criterion:

Evaluation Criteria	**Description**	**Weight**
Experience and Expertise	Proven ability to manage similar housing construction projects, especially in Indigenous settings.	20%
Work Plan and Options	Timelines for construction	25%
Cultural Sensitivity	Demonstrated commitment to aligning with the Ka Knił̓witiyał̓a vision	10%
Cost and Budget	Transparency and competitiveness of pricing	20%
Compliance and Safety	Adherence to all regulatory and safety requirements	10%
Timeline and Communication	Ability to provide clear timelines and regular progress updates	15%

Proposals will be evaluated based on the information provided in response to this RFP. In addition to the above criterion, ʔaq̓am may also consider the following:

a) Clarification and/or additional information that may be supplied pursuant to requests from ʔaq̓am.
b) Interviews and/or reference checks that may be conducted at ʔaq̓am's discretion.
c) ʔaq̓am's or related parties previous experience with the proponent; and
d) Information received from any source ʔaq̓am deems reliable, at its sole discretion.
e) ʔaq̓am may request clarification from a proponent during the evaluation process.
f) ʔaq̓am may, in its sole discretion, conduct independent investigations and contact past customers of the proponent.
g) Short-listed proponents may be required to provide additional information, such as WCB, liability insurance and GST numbers, upon request.
h) The lowest price or any other tender will not necessarily be successful.

CONFIDENTIALITY

Proponents are expected to keep confidential all documents, data, information, and other materials of ʔaq̓am which are provided to or obtained or accessed by a proponent in relation to the RFP, other that documents ʔaq̓am places in the public domain.

Proponents are expected not to make public announcements or news releases regarding this RFP or entering into an Agreement pursuant to this RFP, without prior written ʔaq̓am approval.

The proponent acknowledges that prior to the Closing Date it may require to enter into a confidentiality agreement with ʔaq̓am to obtain access to confidential materials relevant to preparing a response to the RFP.

CONTRACT

By submitting a proposal, the Proponent agrees that should its proposal be successful, the Proponent will enter a contract with ʔaq̓am on the terms and conditions set out in the RFP and such other terms and conditions to be finalized to ʔaq̓am's satisfaction.

Schedule A – Service Requirements

ʔaq̓am is seeking: to enter into a contractual agreement for the construction of 3 residential homes.

1. Ktunaxa based companies preferred

2. A preliminary work schedule including estimated start dates, work timelines and estimated substantial completion date.

3. The financial breakdown, including any deposits or cash flow requirements.

4. Construction standards required: British Columbia Building Code, National Building Code, Electrical and Plumbing code, WorkSafeBC and all other codes and regulations that are applicable.

Schedule B – Proposal Content Requirements

Organizational Information

a) Firm Name
b) Mailing Address
c) Primary Contact Person
d) Primary Contact – telephone and email address
e) Firm Classification (Incorporated, Society, Sole proprietor)
f) How long has the firm been operating
g) Identification of parent company or affiliated companies
h) Regulatory/Compliance body(ies) overseeing the firm as applicable to the services outlined in this RFP and personnel proposed
i) Describe your client base, including types of clients served, length of typical relationship.
j) Describe the levels of insurance coverage
k) How does your firm address correspondence with clients

Personnel, Qualifications, and Experience

a) A brief description of your firm including any qualifications you consider relevant.
b) A description of your firm's experiences in performing similar work particularly with First Nations, including two (2) references or testimonies.
c) Identify the lead personnel responsible to lead the delivery of the services the proponent is prepared to offer and their expected involvement. ʔaq̓am expects that each of the identified lead personnel will be licensed and in good standing to perform the services in British Columbia.
d) Describe the relevant experience of the lead personnel and include their resumes and professional designations.
e) Provide a brief description of your firm's staffing resources that will be utilized to meet the service requirement of ʔaq̓am as outlined under this RFP.
f) If relevant, provide the above information for any sub-consultants that you propose to engage to provide the services.

Fee Proposal

All prices should be:

- Exclusive of applicable GST.
- In Canadian dollars.

Conflict of Interest Disclosures

Please disclose any actual or potential conflicts of interest that your firm may have in the management of this account, please describe how they are addressed. If a proponent has no such conflict of interest, a statement to that effect should be included in its proposal.

Appendix

All building specification can be found within each of the following:

Appendix 1 5320 Mission Wasa Low Road Building Specification
Appendix 2 5451 Mission Wasa Low Road Building Specification
Appendix 3 5480 Mission Wasa Low Road Building Specification

DRAWING SYMBOLS LEGEND

101-1 — DOOR TAG REFER TO SCHEDULE

A — WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM NAME / 101 — ROOM TAG

DETAIL INDICATOR
- Ref / B1 / A6.0
- DETAIL #
- PAGE CROSS REFERENCE

WALL SECTION INDICATOR
- Ref / B1 / A6.0
- SECTION #
- VIEW DIRECTION OF SECTION
- PAGE CROSS REFERENCE

BUILDING SECTION & ELEVATION INDICATOR
- Ref / B1 / A6.0
- SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE

LEVEL NAME / ELEVATION — ELEVATION INDICATOR

CH= 3000 — CEILING HEIGHT INDICATOR

? — KEYNOTE INDICATOR

P2 — WALL TYPE SYMBOL

R2 — ROOF TYPE SYMBOL

F- — FLOOR TYPE SYMBOL

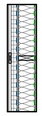
PT- — WALL FINISH TAG

M- — MILLWORK TAG

NORTH ARROW

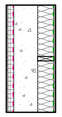
ASSEMBLIES LEGEND

EXTERIOR WALLS



EW1 — EXTERIOR WALL
EXTERIOR CLADDING (REFER TO ELEVATIONS)
1x4 WOOD STRAPPING @ 16" o.c.
2" RIGID INSULATION
AIR BARRIER
1/2" PLYWOOD SHEATHING
2x6 WOOD STUD @16" o.c. WITH BATT INSULATION IN STUD SPACE
6 MIL VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

FOUNDATION WALLS



FW1 — FOUNDATION WALL W/ INTERIOR FROST WALL
PARGING
2" RIGID INSULATION
DAMPPROOFING
8" CONCRETE WALL
2x6 WOOD STUD @ 16"o.c. WITH BATT INSULATION IN STUD SPACE
6 MIL VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

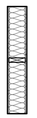
FW2 — FOUNDATION WALL
DAMPPROOFING
8" CONCRETE WALL WITH SMOOTH FINISH ON EXPOSED SIDE

INTERIOR PARTITIONS

P1 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" o.c.
1/2" GYPSUM WALL BOARD

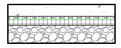
P1a — 2x4 INTERIOR PARTITION
2x4 WOOD STUD @16" o.c.
1/2" GYPSUM WALL BOARD

P1b — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" o.c. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD



P2 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x6 WOOD STUD @16" o.c. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD

FLOOR ASSEMBLIES LEGEND



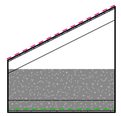
F1 — INSULATED BASEMENT SLAB
4" REINFORCED CONCRETE SLAB
10 MIL RADON VAPOUR BARRIER
3" HIGH DENSITY RIGID INSULATION
COMPACTED GRAVEL

F2 — ENGINEERED WOOD FLOOR
3/4" T&G PLYWOOD SHEATHING
11-7/8" ENGINEERED WOOD JOISTS (BY OTHERS)
1/2" SAG RESISTANT GYPSUM BOARD

NOTE: OPTIONAL GYPSUM BOARD IN CRAWL SPACE

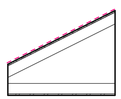
F3 — 2x10 WOOD DECK
5/4" DECK BOARDS
2x10 TREATED WOOD JOISTS @ 16" o.c.

ROOF ASSEMBLIES LEGEND



R1 — INSULATED TRUSS ROOF
ASPHALT SHINGLES
ROOF UNDERLAY
1/2 PLYWOOD SHEATHING WITH H-CLIPS
ENGINEERED WOOD TRUSSES (BY OTHERS)
BLOWN CELLULOSE R50 MIN.
6 MIL VAPOUR BARRIER
1/2" SAG RESISTANT GYPSUM BOARD

SUBSTITUTION NOTES:
- USE R50 MIN. BATT INSULATION WHERE CEILING IS SLOPED



R1 — INSULATED TRUSS ROOF
ASPHALT SHINGLES
ROOF UNDERLAY
1/2 PLYWOOD SHEATHING WITH H-CLIPS
ENGINEERED WOOD TRUSSES (BY OTHERS)
PRE-FINISHED METAL SOFFIT

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
2. CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
3. ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL BUILDING CODE AND LOCAL ORDINANCES.
4. COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
5. ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
7. ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
8. NOT USED
9. PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
10. ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR SILLS SHALL BE PRESSURE TREATED.
11. FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
12. SEE MECHANICAL AND ELECTRICAL FOR DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
13. NOT USED
14. PROVIDE ACOUSTICAL SEALANT AT SOUND RATED PARTITIONS.
15. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS, STAGGER OUTLETS. PROVIDE ACOUSTICAL SEALANT ALL AROUND.
16. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN FIRE RATED PARTITIONS, PROVIDE PUTTY PACKS TO MAINTAIN FIRE RATINGS.
17. NOT USED
18. NOT USED

Berry Architecture + Associates
Suite 200, 5218-50 Avenue
Red Deer, T4N 4B5

Phone: 403-314-4461
Contact: Angela Flinn

ARCHITECTURAL SHEET LIST

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFC

PROJECT TITLE
5320 AQAM SINGLE FAMILY HOUSING
5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
TITLE PAGE

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BRITISH COLUMBIA BUILDING CODE - 2024 EDITION REVIEW

Nova Homes

Regulation:	Requirement:	Proposed:
Building Classification 9.10.2.1.	1) ..., every building or part thereof shall be classified according to its major occupancy as belonging to one of the groups or divisions described in Table 9.10.2.1.	Group C - Residential
Building Height Division A: 1.3.3.3.	3 storeys or less in building height	2 Storeys
Building Area Division A: 1.3.3.3.	Building area not exceeding 600 sq. m	237.6 sq.m

Regulation:	Requirement:	Proposed:
Egress Windows or Doors for Bedrooms 9.9.10.1	1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door openable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware. 2) The window referred to in Sentence (1) shall a) provide an unobstructed opening of not less than 0.35 m2 in area with no dimension less than 380 mm, and b) maintain the required opening during an emergency without the need for additional support. 3) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 760 mm shall be provided in front of the window.	Windows Comply refer to schedule

Regulation:	Requirement:	Proposed:
Protection from Soil Gas Ingress 9.13.4.2.(1) 9.13.4.2.(2)	1) All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system conforming to Subsection 9.25.3. 2) Unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, dwelling units and buildings containing residential occupancies shall be provided with the rough-in for a radon extraction system conforming to Article 9.13.4.3.	Radon Mitigation Provide
Vent Requirements 9.19.1.2	..., the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area 2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area	
Thermal Characteristics Climate Zone 6 9.36.2.6.	..., the effective thermal resistance of above-ground opaque building assemblies or portions thereof shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.6.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.6.-B, where the ventilation system includes heat-recovery equipment conforming to Article 9.36.3.9	
Minimum Effective RSI		
Ceilings Below Attics	8.67	
Catherdral ceilings and flat roofs	4.67	
Walls	3.08	
Floors Over Unheated spaces	4.67	
Thermal Characteristics of Building Assemblies Below-Grade or in Contact with the Ground 9.36.2.8	..., the effective thermal resistance of building assemblies that are below-grade or in contact with the ground shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.8.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.8.-B, where the ventilation system includes heat-recovery equipment	
Minimum Effective RSI		
Foundation Walls	3.46	
Unheated Floors Below Frost Line	Uninsulated	
Unheated Floor Above Frost Line	1.96	
Slab-on-grade with an integral Footing	1.96	

1 A2.0 **SITE PLAN**
SCALE = 1/16" = 1'-0"

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2024 10 25	IFC

PROJECT TITLE
5320 AQAM SINGLE FAMILY HOUSING
5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
SITE PLAN + CODE REVIEW

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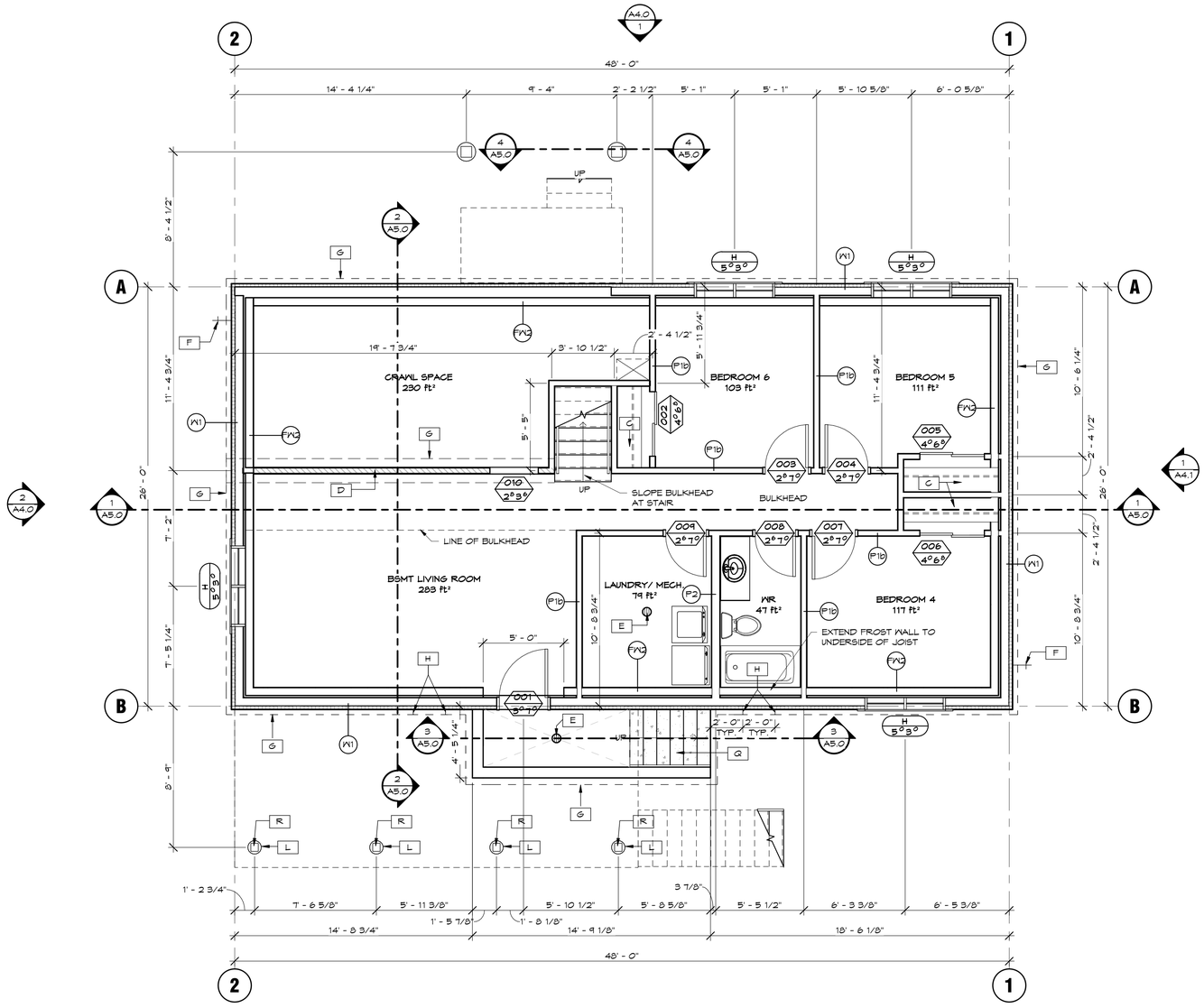

1 A3.0 OVERALL PLAN - LOWER FLOOR

SCALE = 1/4" = 1'-0"

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5320 AQAM SINGLE FAMILY HOUSING

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DRAWING TITLE

LOWER FLOOR PLAN

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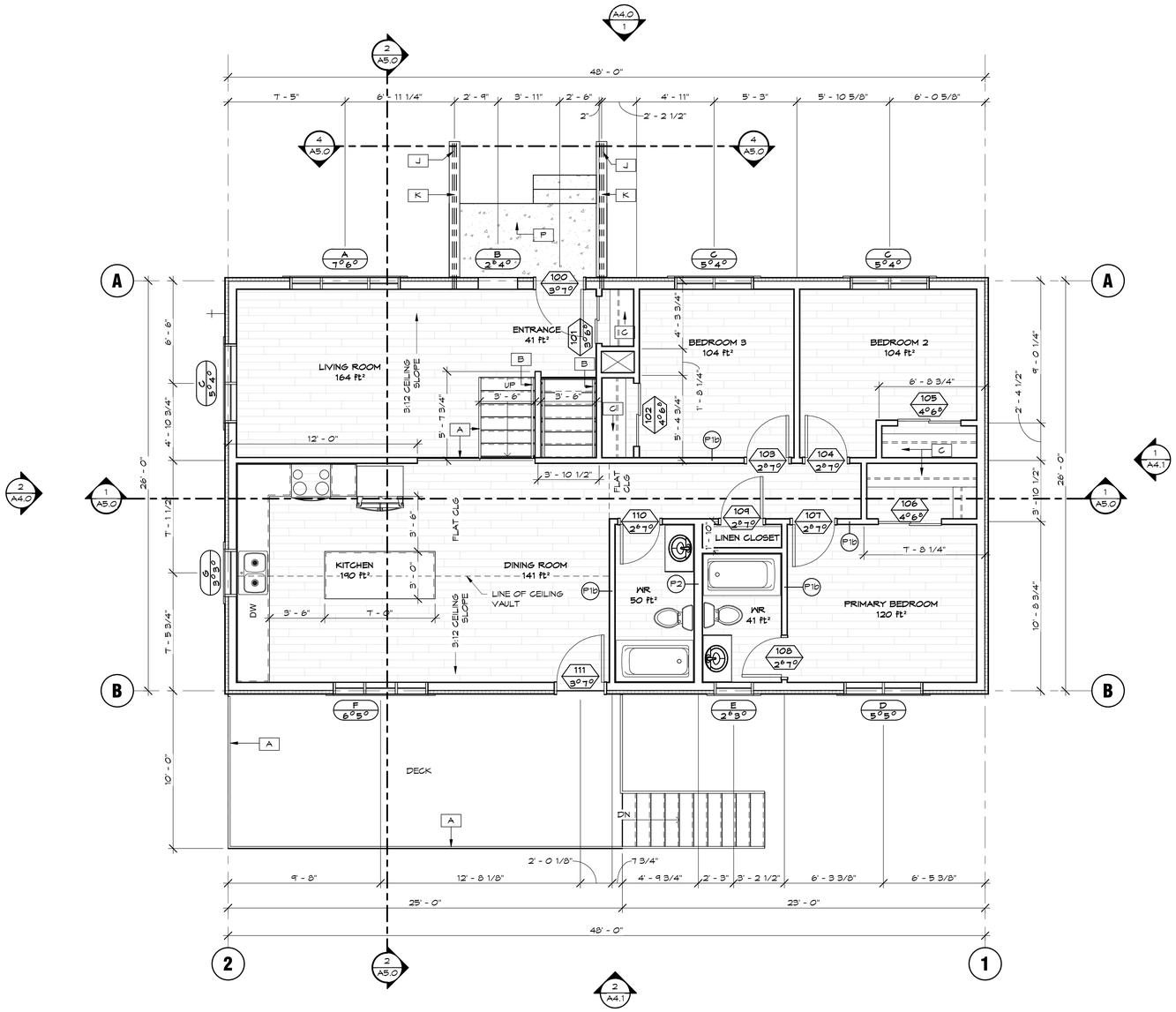

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2024 10 25	IFC

PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

MAIN FLOOR PLAN

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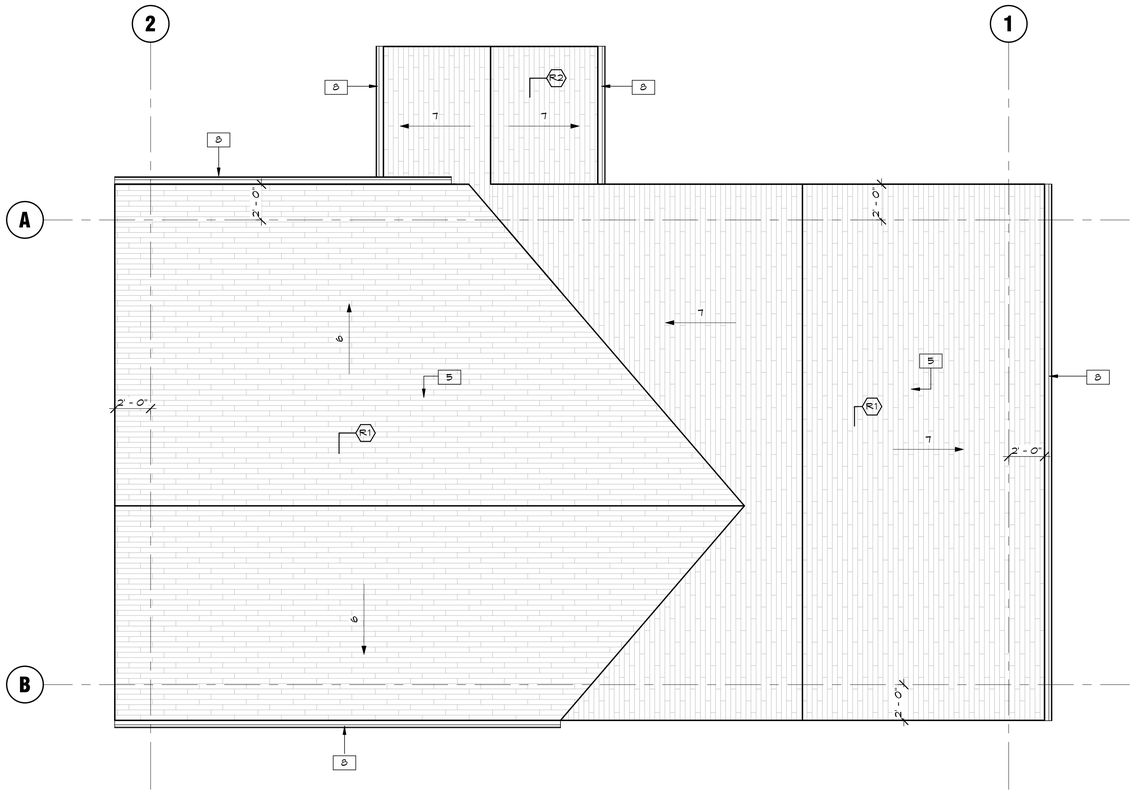

ROOF PLAN

1 / A3.2 SCALE = 1/4" = 1'-0"

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SEALS

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5320 MISSION WASA LOW RD, ?AQ'AM, BC

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ROOF PLAN

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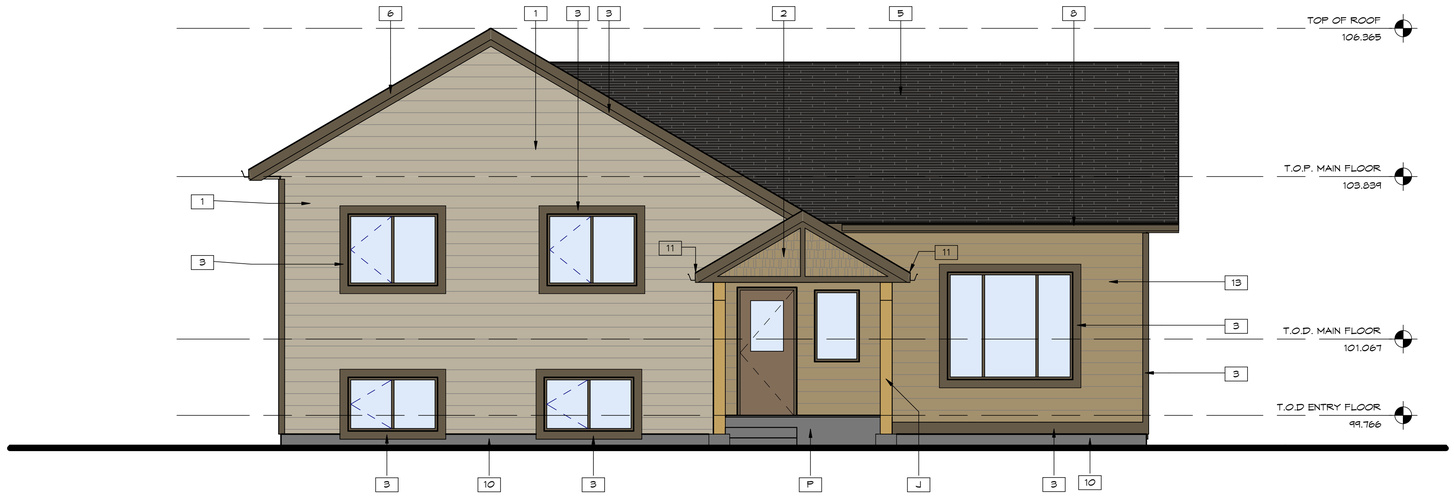

1 / A4.0 **NORTH EAST ELEVATION**

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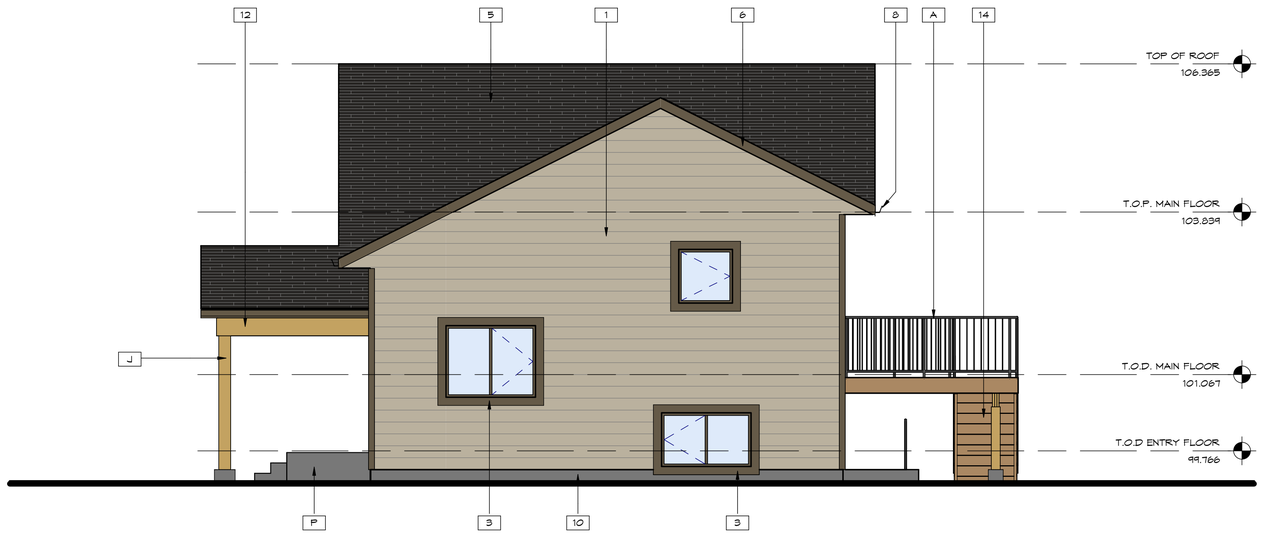

2 / A4.0 **NORTH WEST**

SCALE = 1/4" = 1'-0"

KEYNOTE LEGEND

1	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN
2	FIBER CEMENT SHINGLE SIDING, COLOUR KHAKI BROWN
3	6" FIBER CEMENT TRIM, COLOUR TIMBER BARK
5	ASPHALT SHINGLES
6	PRE-FINISHED METAL FASCIA, COLOUR TIMBER BARK
8	PRE-FINISHED 5" METAL GUTTERS, COLOUR TIMBER BARK. DOWNSPOUT LOCATIONS TO BE DETERMINED ON SITE
10	PARGING, COLOUR GREY
11	PROVIDE KICKOUT FLASHING WHERE ROOF + GUTTER MEEET EXTERIOR WALL
12	WOOD TIMBER CLAD BEAM (BEAM BY OTHERS)
13	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN
14	EXTERIOR WOOD DECK
A	42" MIN. GUARD RAILING
J	8"x8" CLADDED FINISHED BUILT-UP EXTERIOR COLUMNS (STRUCTURAL COLUMN BY OTHERS)(REFER TO ELEVATION FOR CLADDING)
P	PRECAST CONCRETE EXTERIOR STAIRS + LANDING

NOT FOR CONSTRUCTION

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+associates

SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFC

PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

DRAWN: BS

CHECKED: RR/AF

May '24

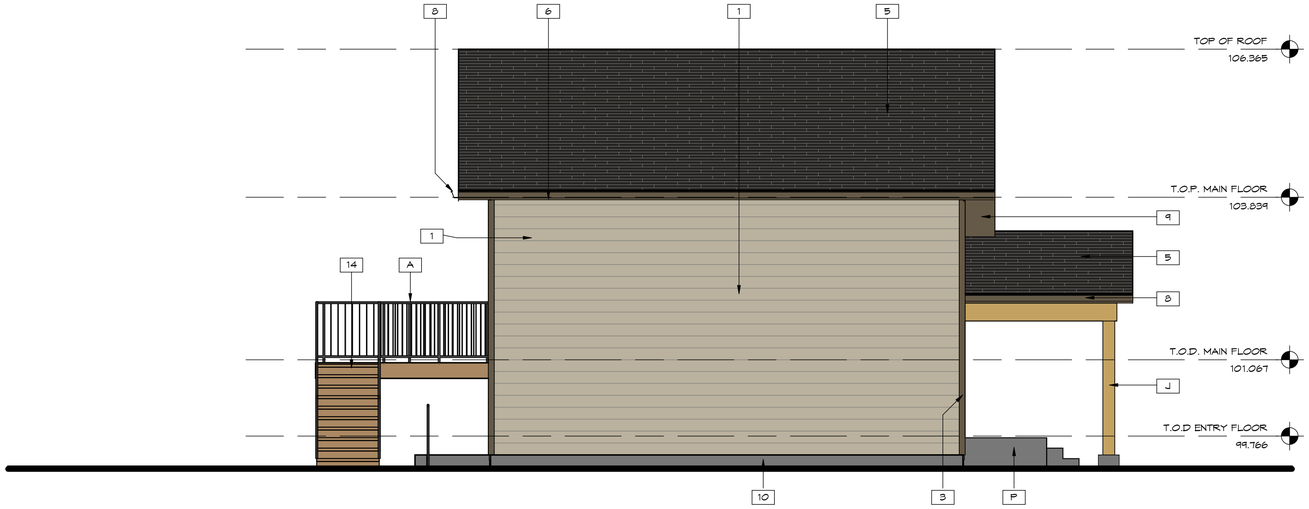
24-027-3

A4.0

2024-10-25 3:10:53 PM

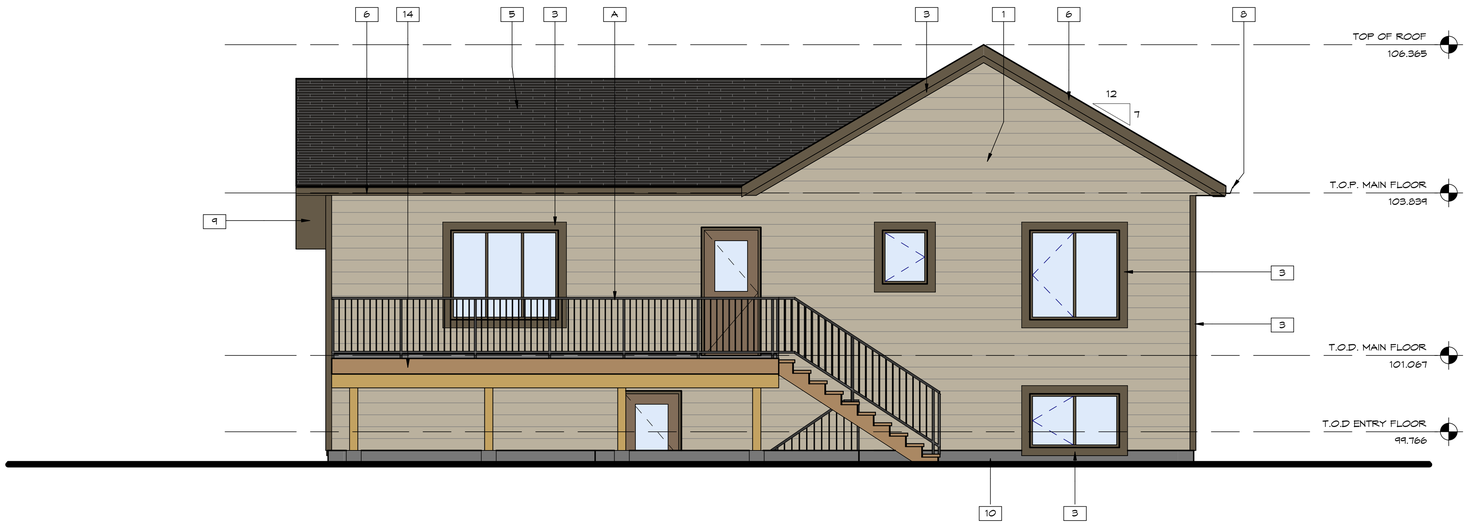
D C B A

1 2 3 4 5



1 A4.1 **SOUTH EAST ELEVATION**

SCALE = 1/4" = 1'-0"



2 A4.1 **SOUTH WEST**

SCALE = 1/4" = 1'-0"

KEYNOTE LEGEND

1	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN
3	6" FIBER CEMENT TRIM, COLOUR TIMBER BARK
5	ASPHALT SHINGLES
6	PRE-FINISHED METAL FASCIA, COLOUR TIMBER BARK
8	PRE-FINISHED 5" METAL GUTTERS, COLOUR TIMBER BARK. DOWNSPOUT LOCATIONS TO BE DETERMINED ON SITE
9	PRE-FINISHED METAL SOFFIT, COLOUR TIMBER BARK
10	PARGING, COLOUR GREY
14	EXTERIOR WOOD DECK
A	42" MIN. GUARD RAILING
J	8"x8" CLADDED FINISHED BUILT-UP EXTERIOR COLUMNS (STRUCTURAL COLUMN BY OTHERS)(REFER TO ELEVATION FOR CLADDING)
P	PRECAST CONCRETE EXTERIOR STAIRS + LANDING

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PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

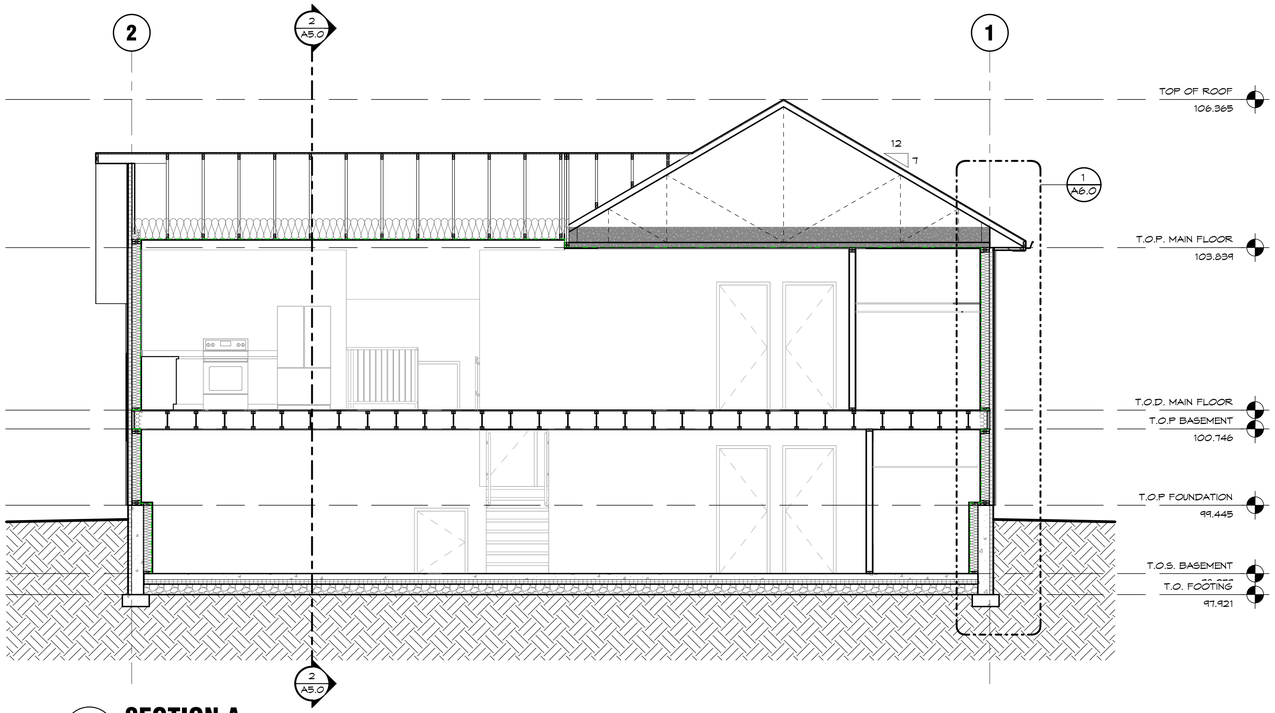
5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

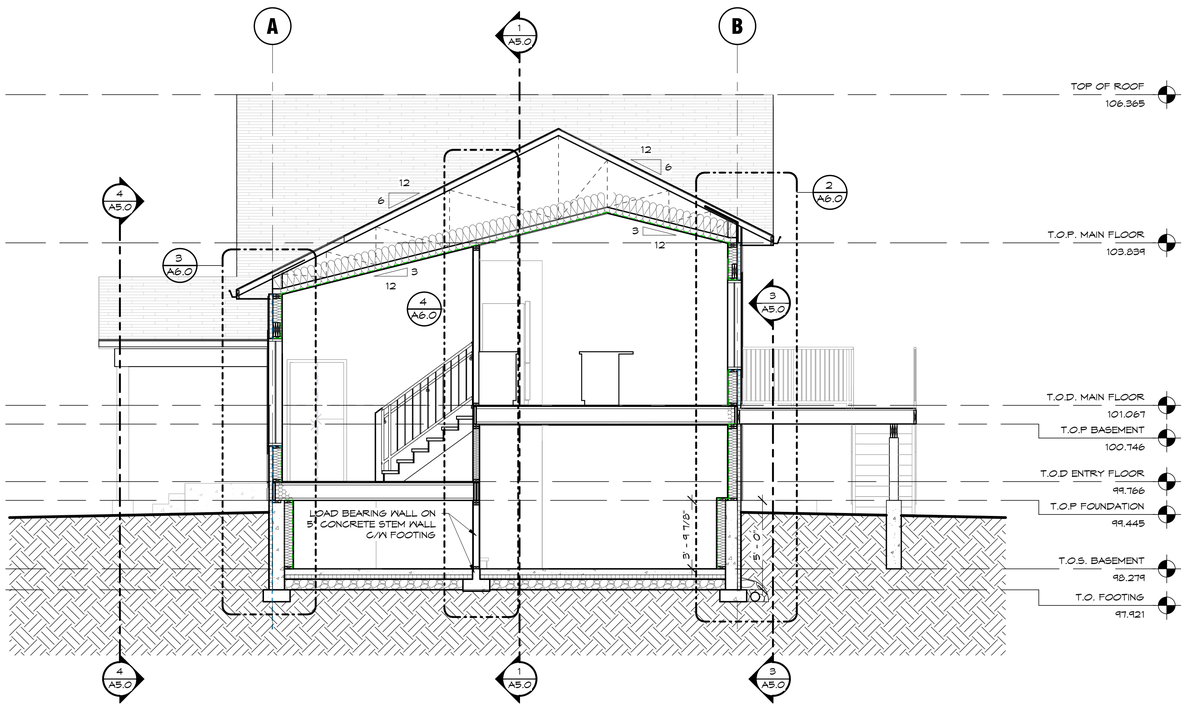
SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3
A4.1

2024-10-25 3:10:54 PM



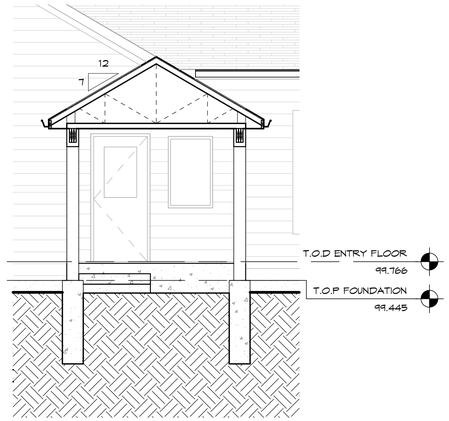
1 A5.0 **SECTION A**

SCALE = 1/4" = 1'-0"



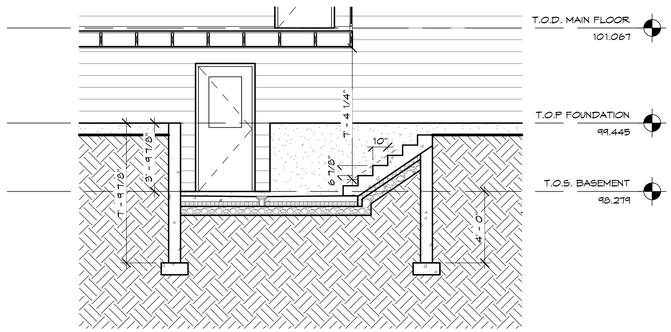
2 A5.0 **SECTION B**

SCALE = 1/4" = 1'-0"



4 A5.0 **ENTRY ROOF SECTION**

SCALE = 1/4" = 1'-0"



3 A5.0 **BACK ENTRY SECTION**

SCALE = 1/4" = 1'-0"

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SEALS

KEY PLAN

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2024 10 25	IFC

PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

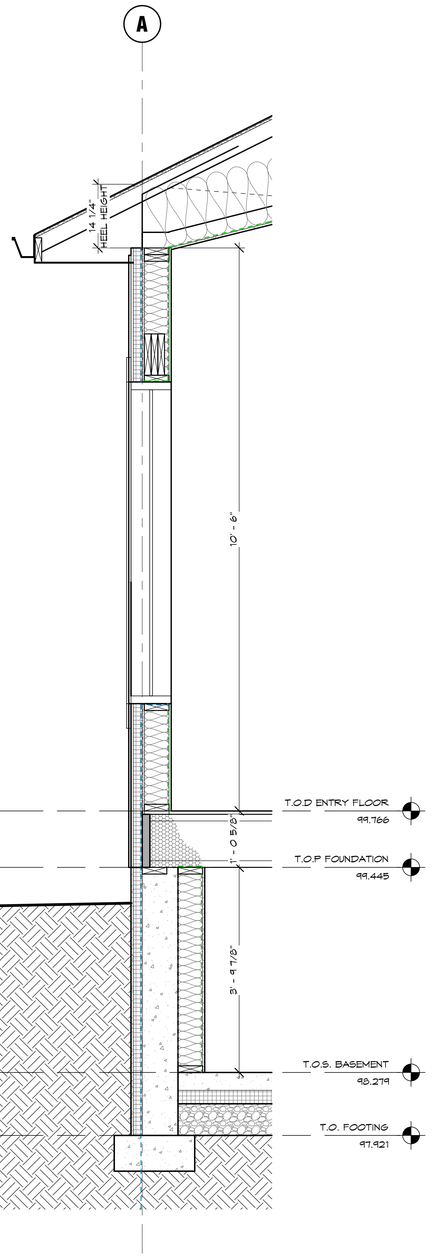
DRAWING TITLE

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3

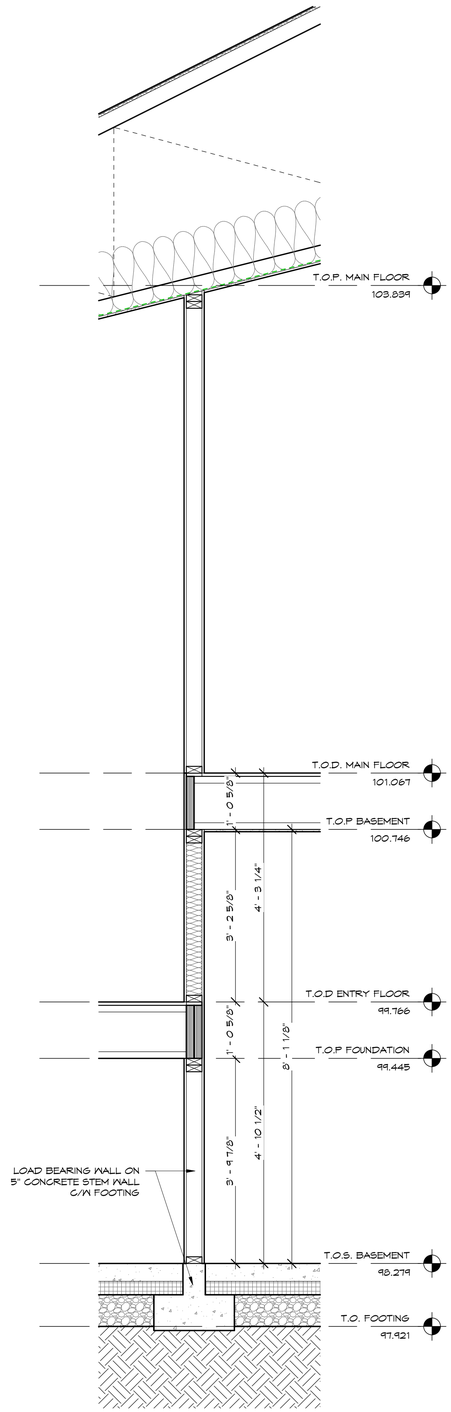
A5.0

2024-10-25 3:10:55 PM



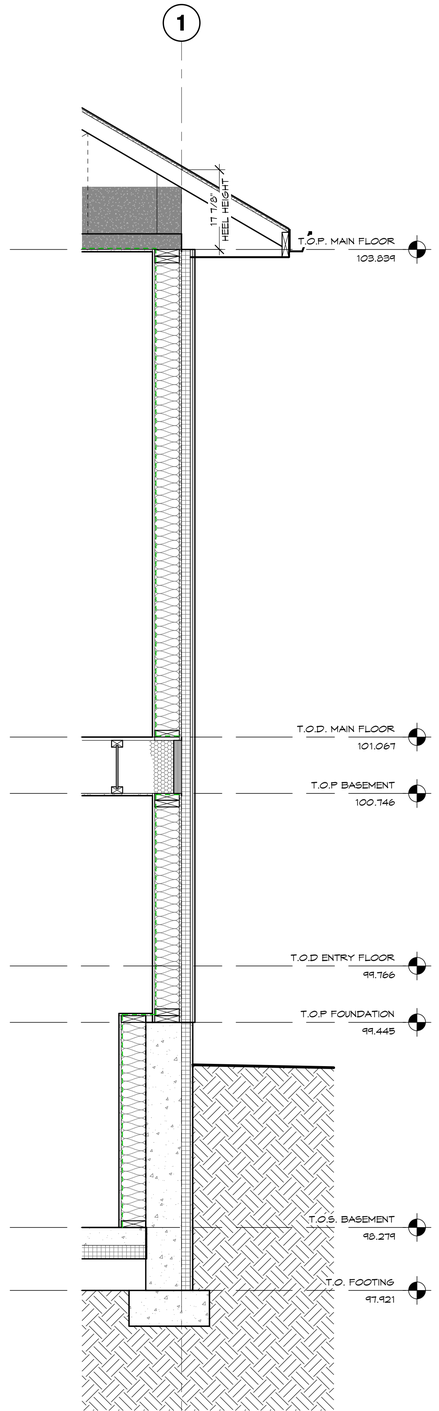
3 A6.0 **WALL SECTION A**

SCALE = 3/4" = 1'-0"



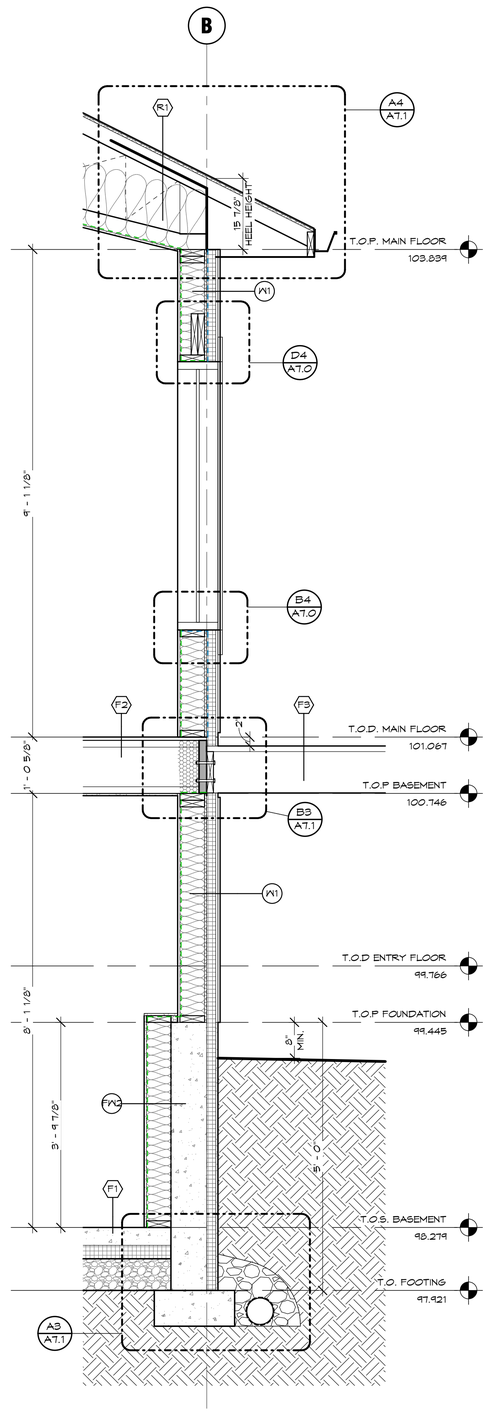
4 A6.0 **WALL SECTION B**

SCALE = 3/4" = 1'-0"



1 A6.0 **WALL SECTION C**

SCALE = 3/4" = 1'-0"



2 A6.0 **WALL SECTION D**

SCALE = 3/4" = 1'-0"

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFC

PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

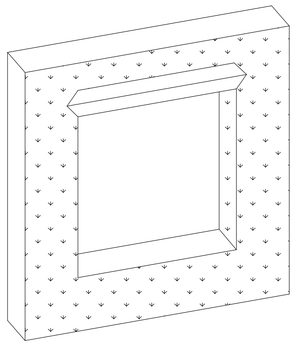
WALL SECTIONS

SCALE: 3/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3

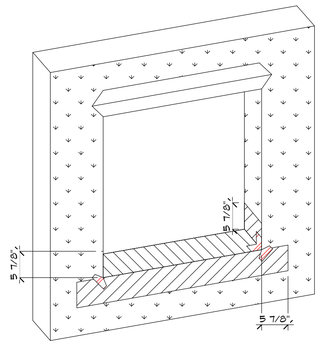
A6.0

2024-10-25 3:10:55 PM

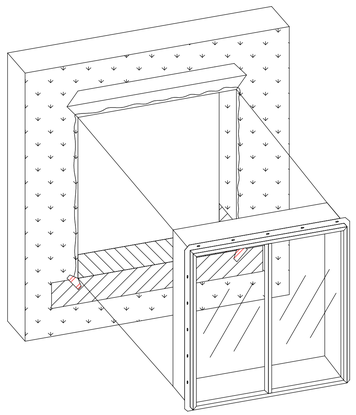
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS. CREATE AIR BARRIER FLAP AT WINDOW HEAD.



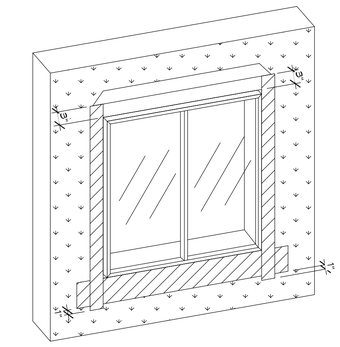
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300mm LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE 150mm UP EACH JAMB. LAP THE OVERHANGING FLASHING DOWN ONTO THE WALL, COVERING THE AIR BARRIER. APPLY BOXTIE PATCH TO BOTTOM CORNERS.



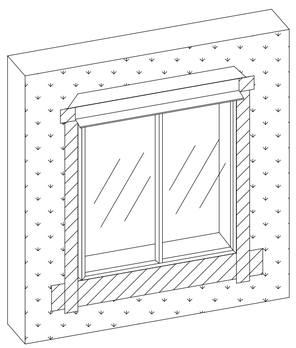
3. APPLY SEALANT TO WINDOW MOUNTING FLANGE (JAMBS AND HEAD ONLY). INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.



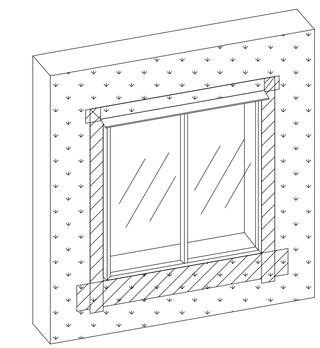
4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.

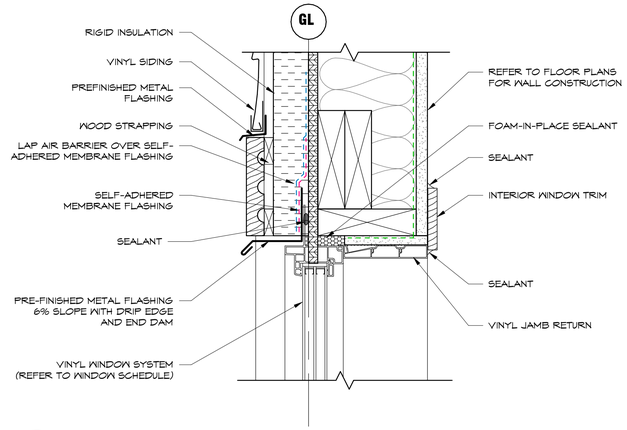


6. RELEASE AIR BARRIER FLAP AND SEAL.

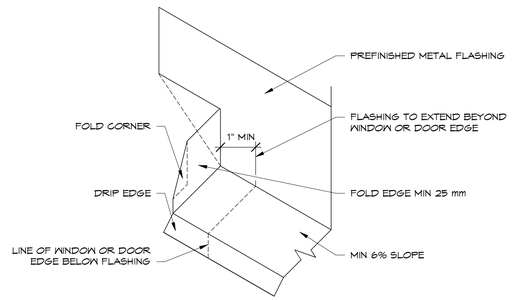


FLASHING WIDTH
THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

A1 / A7.0 **WINDOW FLASHING SEQUENCING DETAIL**
SCALE = 3/4" = 1'-0"

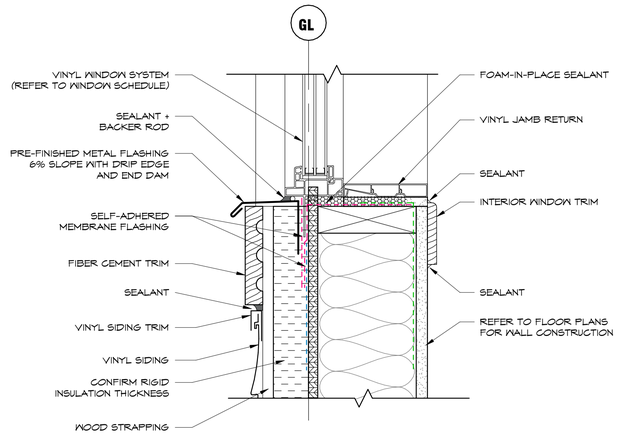


D4 / A7.0 **WINDOW HEADER DETAIL**
SCALE = 3" = 1'-0"

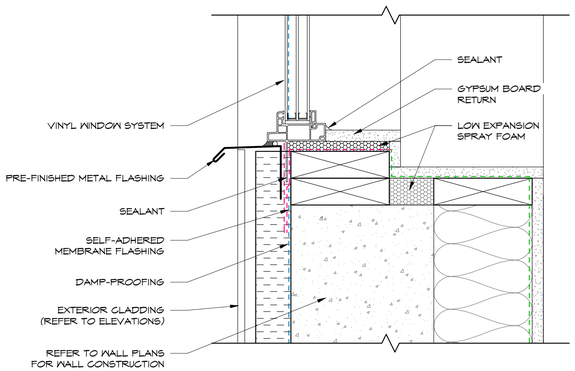


NOTE: CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

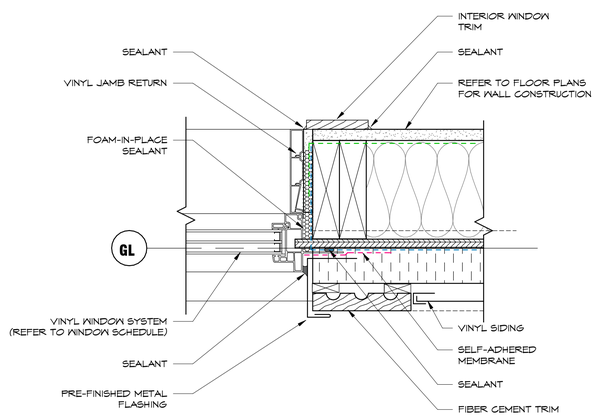
1 / A7.0 **CLOSED END DAM FLASHING DETAIL**
SCALE = 6" = 1'-0"



B4 / A7.0 **WINDOW SILL DETAIL**
SCALE = 3" = 1'-0"



B3 / A7.0 **BASEMENT WINDOW SILL DETAIL**
SCALE = 3" = 1'-0"



A4 / A7.0 **WINDOW JAMB DETAIL**
SCALE = 3" = 1'-0"

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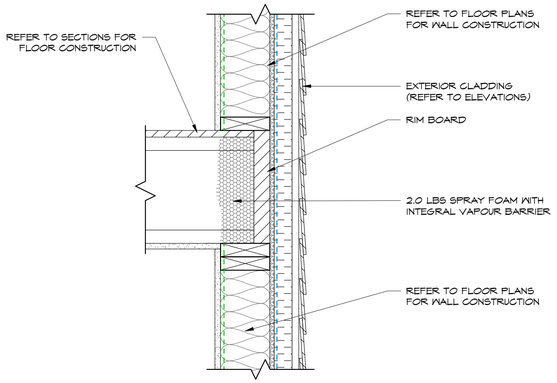
2024 10 25	IFG

PROJECT TITLE
5320 AQAM SINGLE FAMILY HOUSING
5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
DETAILS

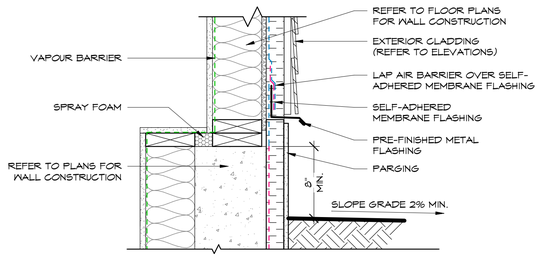
SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3
A7.0

2024-10-25 3:10:55 PM



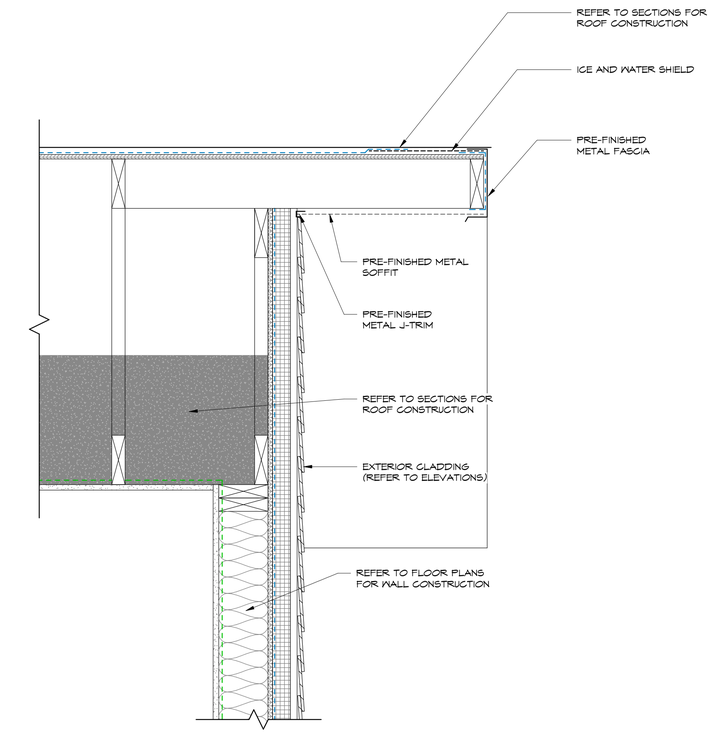
1 A7.1 **FLOOR TO WALL DETAIL**

SCALE = 1 1/2" = 1'-0"



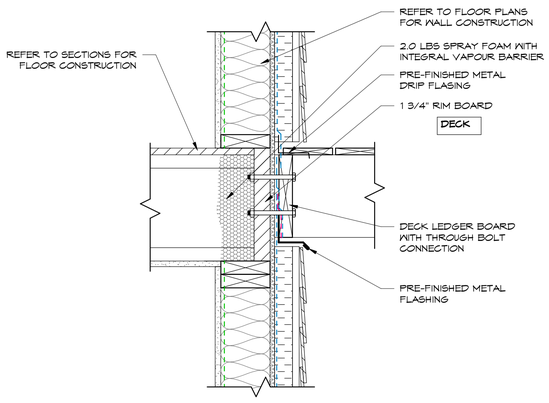
2 A7.1 **FOUNDATION WALL TO WOOD WALL DETAIL**

SCALE = 1 1/2" = 1'-0"



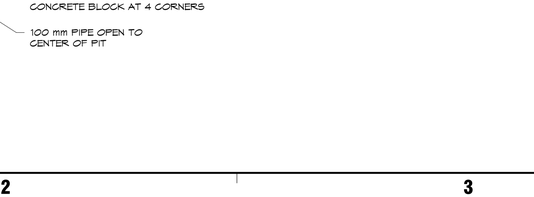
C4 A7.1 **ROOF GABLE END DETAIL**

SCALE = 1 1/2" = 1'-0"



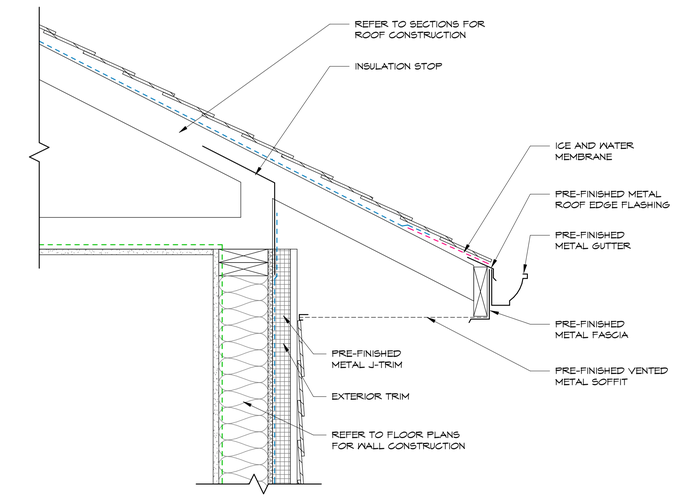
B3 A7.1 **MAIN FLOOR AND DECK CONNECTION DETAIL**

SCALE = 1 1/2" = 1'-0"



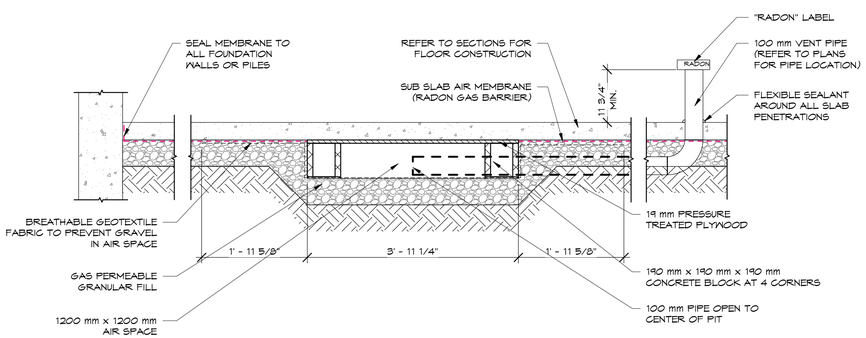
A3 A7.1 **CONCRETE FOOTING DETAIL**

SCALE = 1 1/2" = 1'-0"



A4 A7.1 **ROOF OVERHANG DETAIL**

SCALE = 1 1/2" = 1'-0"



3 A7.1 **RADON PIT SECTION DETAIL**

SCALE = 3/4" = 1'-0"

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PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

DETAILS

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3

A7.1

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Allowable Joist Spans (meters)													
Joist Size (mm)	300mm Joist Spacing				400mm Joist Spacing				600mm Joist Spacing				Max Allowable Cantilever
	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor	
38 x 89	2.01	2.01	1.91	1.73	1.82	1.82	1.74	1.57	1.51	1.58	1.52	1.32	200
38 x 140	3.05	3.16	3.01	2.66	2.64	2.77	2.73	2.30	2.15	2.26	2.34	1.88	400
38 x 184	3.71	3.84	3.95	3.23	3.21	3.37	3.49	2.80	2.62	2.75	2.85	2.28	400
38 x 235	4.53	4.75	4.92	3.95	3.92	4.12	4.26	3.42	3.20	3.36	3.48	2.79	600

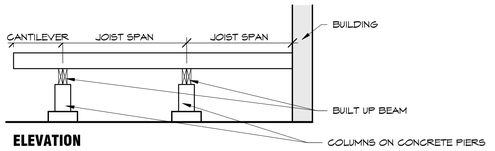
Beam Selection Supporting Two Spans (meters)

Joist Span (M)	1.2m Post Spacing				1.8m Post Spacing			
	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor
2.4	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 235	2-38 x 184	2-38 x 184	2-38 x 235
3.0	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 184	2-38 x 235	2-38 x 235	2-38 x 235	2-38 x 286
3.7	2-38 x 184	2-38 x 140	2-38 x 140	2-38 x 184	2-38 x 286	2-38 x 235	2-38 x 235	3-38 x 235
4.3	2-38 x 184	2-38 x 184	2-38 x 184	2-38 x 235	2-38 x 286	2-38 x 286	2-38 x 286	3-38 x 235

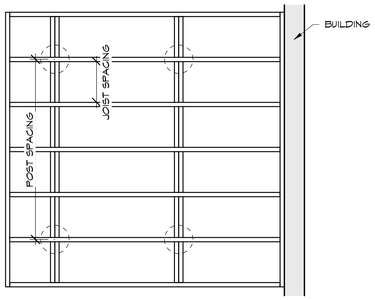
DF-L	Douglas Fir, Western Larch
H-F	Western Hemlock, Amabilis Fir
S-P-F	White Spruce, Engelmann Spruce, Black Spruce, Red Spruce, Lodgepole Pine, Jack Pine, Alpine Fir, Balsam Fir
Nor	Eastern White Cedar, Western Red Cedar, Yellow Cedar, Grand Fir, Eastern Hemlock, Eastern White Pine, Ponderosa Pine, Red Pine, Western White Pine, Whitebark Pine, Coast Sitka Spruce, Western White Spruce, Eastern Larch, Aspen Poplar, Largetooth Aspen, Black Cottonwood, Balsam Poplar

Reference:

Canadian Wood Council: Prescriptive Residential Exterior Wood Deck Span Guide



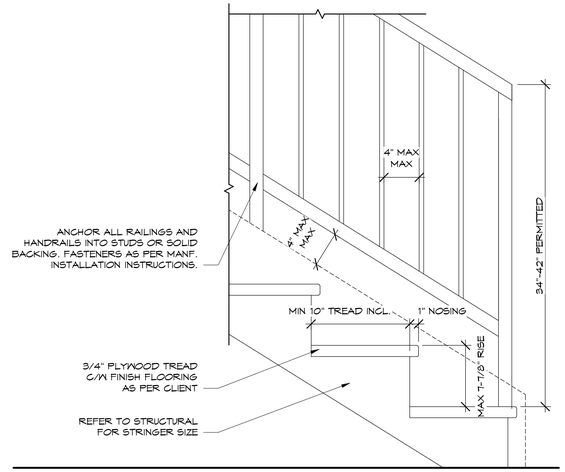
ELEVATION



PLAN

1 / A7.2 **WOOD DECK SPAN PLAN + ELEV**

SCALE =1 : 25



NOTE: STYLE OF RAILING SUBJECT TO CHANGE, COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF BRITISH COLUMBIA BC SECTION 9.8.7. AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.

STAIR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

3 / A7.2 **TYPICAL STAIR DETAIL**

SCALE = 1 1/2" = 1'-0"

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

LOCATION			DOOR			
DOOR #	FROM ROOM	TO ROOM	ELEV.	WIDTH	HEIGHT	NOTES
001	EXTERIOR	BSMT LIVING ROOM	1	3' - 0"	7' - 0"	EXTERIOR INSULATED DOOR
002	BEDROOM 6	BEDROOM 6 CLOSET	3	4' - 0"	6' - 8"	
003	CORRIDOR	BEDROOM 6	2	2' - 8"	7' - 0"	
004	CORRIDOR	BEDROOM 5	2	2' - 8"	7' - 0"	
005	BEDROOM 5	BEDROOM 5 CLOSET	3	4' - 0"	6' - 8"	
006	BEDROOM 4	BEDROOM 4 CLOSET	3	4' - 0"	6' - 8"	
007	CORRIDOR	BEDROOM 4	2	2' - 8"	7' - 0"	
008	CORRIDOR	WR	2	2' - 6"	7' - 0"	
009	CORRIDOR	LAUNDRY/ MECH.	2	2' - 6"	7' - 0"	
010	BSMT LIVING ROOM	CRAWL SPACE	4	2' - 8"	3' - 6"	
100	EXTERIOR	ENTRANCE	1	3' - 0"	7' - 0"	EXTERIOR INSULATED DOOR
101	ENTRANCE	ENTRANCE CLOSET	3	3' - 0"	6' - 8"	
102	BEDROOM 3	BEDROOM 3 CLOSET	3	4' - 0"	6' - 8"	
103	CORRIDOR	BEDROOM 3	2	2' - 8"	7' - 0"	
104	CORRIDOR	BEDROOM 2	2	2' - 8"	7' - 0"	
105	BEDROOM 2	BEDROOM 2 CLOSET	3	4' - 0"	6' - 8"	
106	PRIMARY BEDROOM	PRIMARY BEDROOM CLOSET	3	4' - 0"	6' - 8"	
107	CORRIDOR	PRIMARY BEDROOM	2	2' - 8"	7' - 0"	
108	PRIMARY BEDROOM	WR	2	2' - 6"	7' - 0"	
109	LINEN CLOSET	CORRIDOR	2	2' - 8"	7' - 0"	
110	CORRIDOR	WR	2	2' - 6"	7' - 0"	
111	EXTERIOR	DINING ROOM	1	3' - 0"	7' - 0"	EXTERIOR INSULATED DOOR

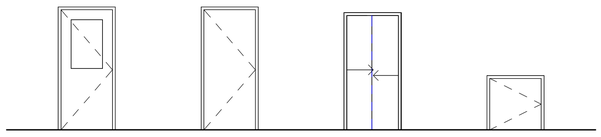
WINDOW SCHEDULE

Dimension are Nominal Only, Contractor to Verify on...

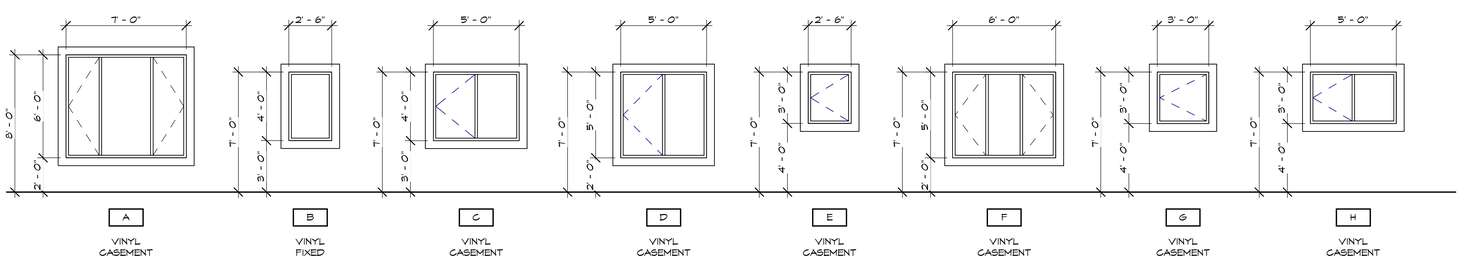
Type Mark	Width	Height
A	7' - 0"	6' - 0"
B	2' - 6"	4' - 0"
C	5' - 0"	4' - 0"
D	5' - 0"	5' - 0"
E	2' - 6"	3' - 0"
F	6' - 0"	5' - 0"
G	3' - 0"	3' - 0"
H	5' - 0"	3' - 0"

DOOR ELEVATIONS

NOTE: DOOR STYLES BY OWNER



WINDOW ELEVATIONS



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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFC

PROJECT TITLE

5320 AQAM SINGLE FAMILY HOUSING

5320 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

DETAILS, DOOR + WINDOW SCHEDULE

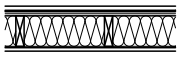
SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-3

A7.2

2024-10-25 3:10:56 PM

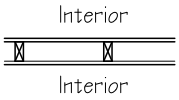
Construction Assemblies

5320 Mission Wasa Low Road, Aqam FN



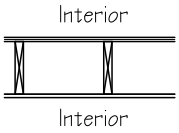
EXTERIOR WALL CONSTRUCTION

EXTERIOR SIDING (SEE SCOPE)
AIR/MOISTURE BARRIER (SEAMS TAPED & SEALED)
RAIN SCREENED SYSTEM
1/2" PLY SHEATHING
2X6 @ 16" KD SPRUCE STUDS
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
1/2" DRYWALL



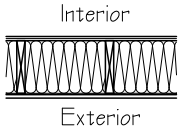
INTERIOR WALL CONSTRUCTION

1/2" DRYWALL BOTH SIDES
2X4 @ 16" KD SPRUCE (2X6 WHERE SCOPED)



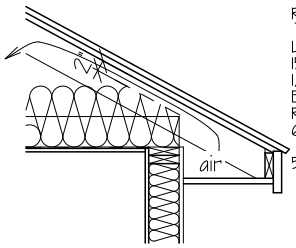
FLOOR CONSTRUCTION

5/8" T&G OSB (GLUE & SCREW)
2X10 FLOOR JOISTS AS SCOPED
2X2 CROSS BRIDGING AS REQUIRED
1/2" DRYWALL



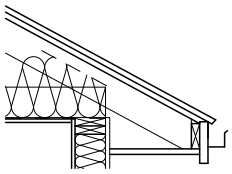
CANTILEVERED FLOORS

5/8" T&G OSB (GLUE & SCREW)
2X10 FLOOR JOISTS AS SCOPED
2X2 CROSS BRIDGING AS REQUIRED
R32 BATT INSULATION
6 MIL POLY GAS BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
1/2" DRYWALL



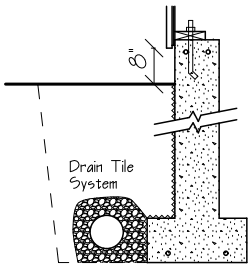
ROOF CONSTRUCTION

LAMINATED ASPHALT SHINGLES
15 LB NON-PERF. ASPH. FELT W/SELF ADHERED EAVE PROT.
1/2" PLYWOOD SHEATHING
ENGINEERED ROOF TRUSSES @ 24" OC
R60 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
5/8" DRYWALL



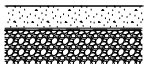
OVERHANG CONSTRUCTION

GUTTER AS PER SCOPE
2X8 COMB FACE FASCIA
PERFORATED ALUM SOFFIT



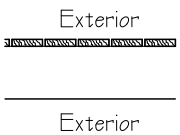
FOUNDATION WALL CONSTRUCTION

8" CONCRETE WALL
REINFORCE AS PER SCOPE
DAMPPROOF 2 COATS BELOW GRADE
18" X 8" CONC. FOOTING
REINFORCE AS PER SCOPE
ON SOLID BEARING OR COMPACTED GRANULAR FILL
BELOW FROST LEVEL
(SEE SCOPE FOR INSULATION)



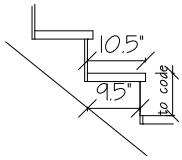
INTERIOR FLOOR SLAB

4" CONCRETE SLAB
6 MIL POLY
RIGID INSULATION AS PER SCOPE



DECK CONSTRUCTION (WOOD)

5/4 X 6 PR. TR. WOOD DECK
DECK JOISTS AS PER SCOPE

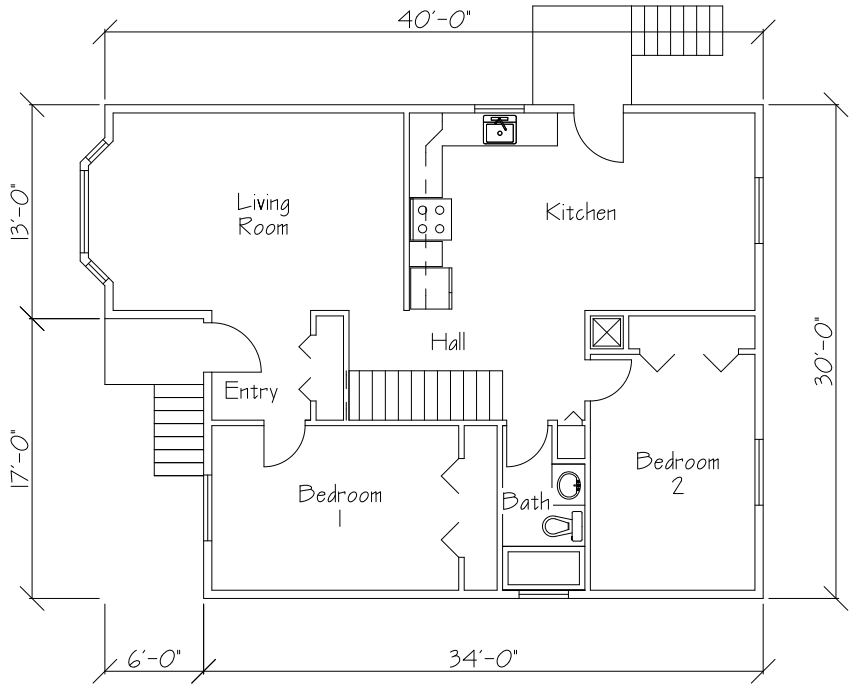


STAIR CONSTRUCTION

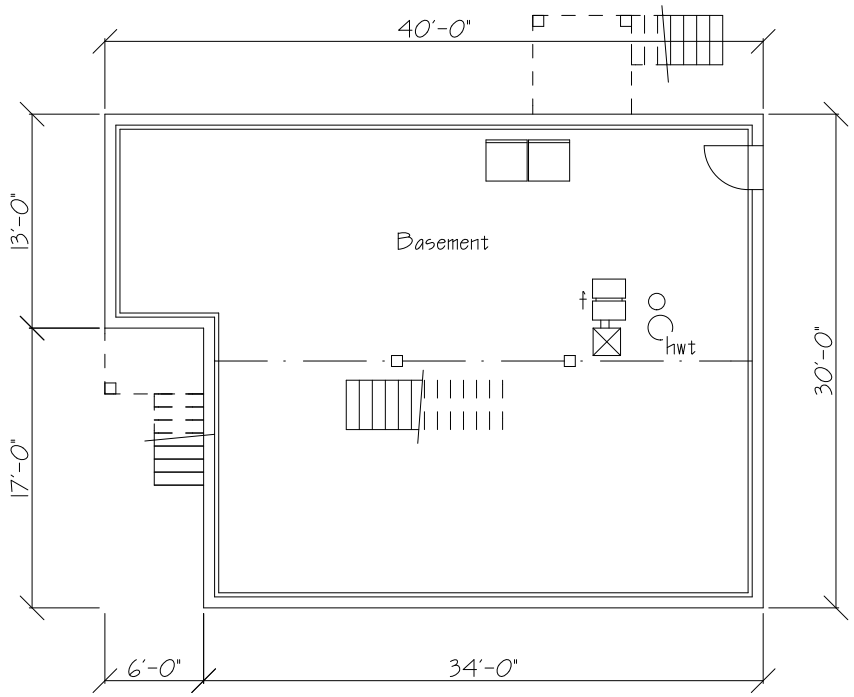
WOOD TREADS AS PER SCOPE
1/2" PLY RISERS
2X10 STRINGERS @ 12"

Floor Layouts

5320 Mission Wasa Low Road, Aqam FN



Main Floor



Basement

DRAWING SYMBOLS LEGEND

101-1 — DOOR TAG REFER TO SCHEDULE

A — WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM NAME
101
150 SF — ROOM TAG

DETAIL INDICATOR
B1 / A6.0 — Ref
DETAIL #
PAGE CROSS REFERENCE

WALL SECTION INDICATOR
B1 / A6.0 — Ref
SECTION #
VIEW DIRECTION OF SECTION
PAGE CROSS REFERENCE

BUILDING SECTION & ELEVATION INDICATOR
B1 / A6.0 — Ref
SECTION #
VIEW DIRECTION OF ELEVATION
PAGE CROSS REFERENCE

LEVEL NAME
ELEVATION — ELEVATION INDICATOR

CH= 3000 — CEILING HEIGHT INDICATOR

? — KEYNOTE INDICATOR

P2 — WALL TYPE SYMBOL

R2 — ROOF TYPE SYMBOL

F- — FLOOR TYPE SYMBOL

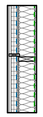
PT- — WALL FINISH TAG

PL- — MILLWORK TAG

NORTH ARROW

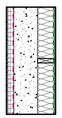
ASSEMBLIES LEGEND

EXTERIOR WALLS



W1 — EXTERIOR WALL
EXTERIOR CLADDING (REFER TO ELEVATIONS)
1x4 WOOD STRAPPING @ 16" o.c.
2" RIGID INSULATION
AIR BARRIER
1/2" PLYWOOD SHEATHING
2x6 WOOD STUD @16" o.c. WITH R20 MIN. BATT INSULATION IN STUD SPACE
6 MIL VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

FOUNDATION WALLS



FW1 — FOUNDATION WALL W/ INTERIOR FROST WALL
PARGING
2" RIGID INSULATION
DAMPPROOFING
8" CONCRETE WALL
2x6 WOOD STUD @ 16"o.c. WITH R20 MIN. BATT INSULATION IN STUD SPACE
6 MIL VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

INTERIOR PARTITIONS

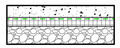
P1 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" o.c.
1/2" GYPSUM WALL BOARD

P1a — 2x4 INTERIOR PARTITION
2x4 WOOD STUD @16" o.c.
1/2" GYPSUM WALL BOARD

P1b — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" o.c. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD

P2 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x6 WOOD STUD @16" o.c. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD

FLOOR ASSEMBLIES LEGEND



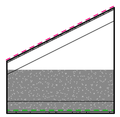
F1 — INSULATED BASEMENT SLAB
4" REINFORCED CONCRETE SLAB
10 MIL RADON VAPOUR BARRIER
3" HIGH DENSITY RIGID INSULATION 48" AROUND PERIMETER
COMPACTED GRAVEL

F2 — ENGINEERD WOOD FLOOR
3/4" T&G PLYWOOD SHEATHING
11-7/8" ENGINEERED WOOD JOISTS (BY OTHERS)
1/2" SAG RESISTANT GYPSUM BOARD

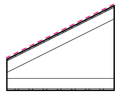
NOTE: OPTIONAL GYPSUM BOARD IN MECHANICAL ROOM

F3 — 2x10 WOOD DECK
ROOF MEMBRANE
3/4" T&G PLYWOOD SHEATHING
2x10 TREATED WOOD JOISTS @ 16" o.c.

ROOF ASSEMBLIES LEGEND



R1 — INSULATED TRUSS ROOF
ASPHALT SHINGLES
ROOF UNDERLAY
1/2 PLYWOOD SHEATHING WITH H-CLIPS
ENGINEERED WOOD TRUSSES (BY OTHERS)
BLOWN CELLULOSE R50 MIN.
6 MIL VAPOUR BARRIER
1/2" SAG RESISTANT GYPSUM BOARD



R1 — INSULATED TRUSS ROOF
ASPHALT SHINGLES
ROOF UNDERLAY
1/2 PLYWOOD SHEATHING WITH H-CLIPS
ENGINEERED WOOD TRUSSES (BY OTHERS)
PRE-FINISHED METAL SOFFIT

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
2. CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
3. ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL BUILDING CODE AND LOCAL ORDINANCES.
4. COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS.
5. ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS. (BY OTHERS)
7. ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
8. NOT USED
9. PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
10. ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR SILLS SHALL BE PRESSURE TREATED.
11. FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
12. SEE MECHANICAL AND ELECTRICAL FOR DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
13. NOT USED
14. PROVIDE ACOUSTICAL SEALANT AT SOUND RATED PARTITIONS.
15. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS, STAGGER OUTLETS. PROVIDE ACOUSTICAL SEALANT ALL AROUND.
16. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN FIRE RATED PARTITIONS, PROVIDE PUTTY PACKS TO MAINTAIN FIRE RATINGS.
17. NOT USED
18. NOT USED

Berry Architecture + Associates
Suite 200, 5218-50 Avenue
Red Deer, T4N 4B5

Phone: 403-314-4461
Contact:

ARCHITECTURAL SHEET LIST

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE
5451 AQAM SINGLE FAMILY HOUSING
5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
TITLE PAGE

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2
A0.0

2024-11-15 8:43:00 AM

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BRITISH COLUMBIA BUILDING CODE - 2024 EDITION REVIEW

Nova Homes

Regulation:	Requirement:	Proposed:
Building Classification 9.10.2.1.	1) ..., every building or part thereof shall be classified according to its major occupancy as belonging to one of the groups or divisions described in Table 9.10.2.1.	Group C - Residential
Building Height Division A: 1.3.3.3.	3 storeys or less in building height	2 Storeys
Building Area Division A: 1.3.3.3.	Building area not exceeding 600 sq. m	153.8 sq.m

Regulation:	Requirement:	Proposed:
Egress Windows or Doors for Bedrooms 9.9.10.1	1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door openable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware. 2) The window referred to in Sentence (1) shall a) provide an unobstructed opening of not less than 0.35 m2 in area with no dimension less than 380 mm, and b) maintain the required opening during an emergency without the need for additional support. 3) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 760 mm shall be provided in front of the window.	Windows Comply refer to schedule

Regulation:	Requirement:	Proposed:
Protection from Soil Gas Ingress 9.13.4.2.(1) 9.13.4.2.(2)	1) All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system conforming to Subsection 9.25.3. 2) Unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, dwelling units and buildings containing residential occupancies shall be provided with the rough-in for a radon extraction system conforming to Article 9.13.4.3.	Radon Mitigation Provide
Vent Requirements 9.19.1.2	..., the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area 2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area	
Thermal Characteristics Climate Zone 6 9.36.2.6.	..., the effective thermal resistance of above-ground opaque building assemblies or portions thereof shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.6.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.6.-B, where the ventilation system includes heat-recovery equipment conforming to Article 9.36.3.9	
Minimum Effective RSI		
Ceilings Below Attics		8.67
Catherdral ceilings and flat roofs		4.67
Walls		3.08
Floors Over Unheated spaces		4.67
Thermal Characteristics of Building Assemblies Below-Grade or in Contact with the Ground 9.36.2.8	..., the effective thermal resistance of building assemblies that are below-grade or in contact with the ground shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.8.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.8.-B, where the ventilation system includes heat-recovery equipment	
Minimum Effective RSI		
Foundation Walls		3.46
Unheated Floors Below Frost Line		Uninsulated
Unheated Floor Above Frost Line		1.96
Slab-on-grade with an Integral Footing		1.96

1 / A2.0 **SITE PLAN**
SCALE = 1/16" = 1'-0"

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE
5451 AQAM SINGLE FAMILY HOUSING
5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
SITE PLAN

SCALE: As Indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2
A2.0

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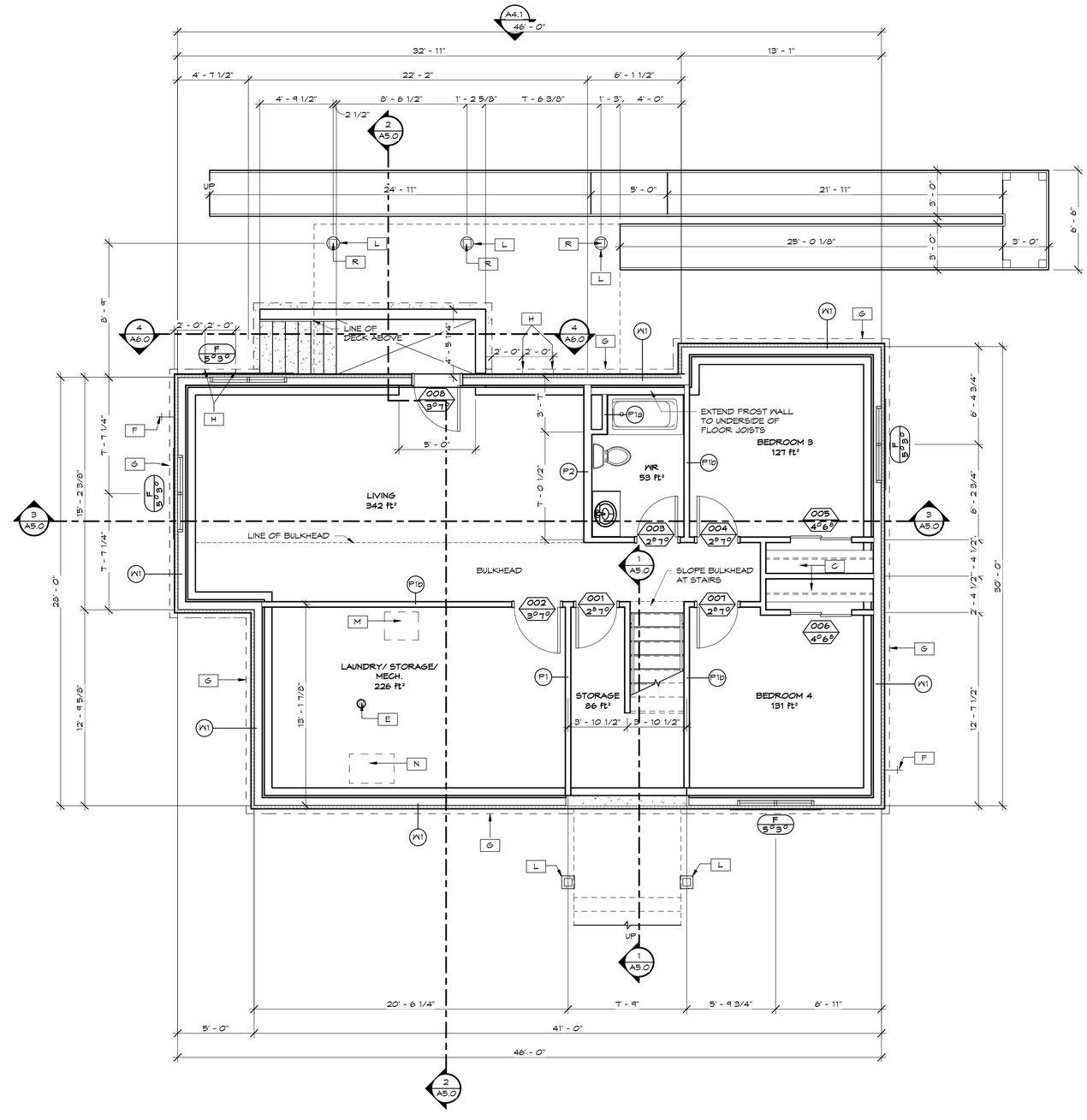
NOTE: ALL WALLS TO BE P1 UNLESS NOTED OTHERWISE

KEYNOTE LEGEND

C	CLOSET ROD AND SHELF
E	FLOOR DRAIN. SLOPE CONCRETE TO FLOOR DRAIN
F	HOSE BIB
G	CONCRETE STRIP FOOTINGS
H	STEP FOOTINGS
L	CONCRETE PILE (BY OTHERS)
M	RADON PIT
N	SUMP PIT + PUMP
R	BUILT UP WOOD COLUMN (BY OTHERS)



1 A3.0 **OVERALL PLAN - LOWER FLOOR**

SCALE = 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2

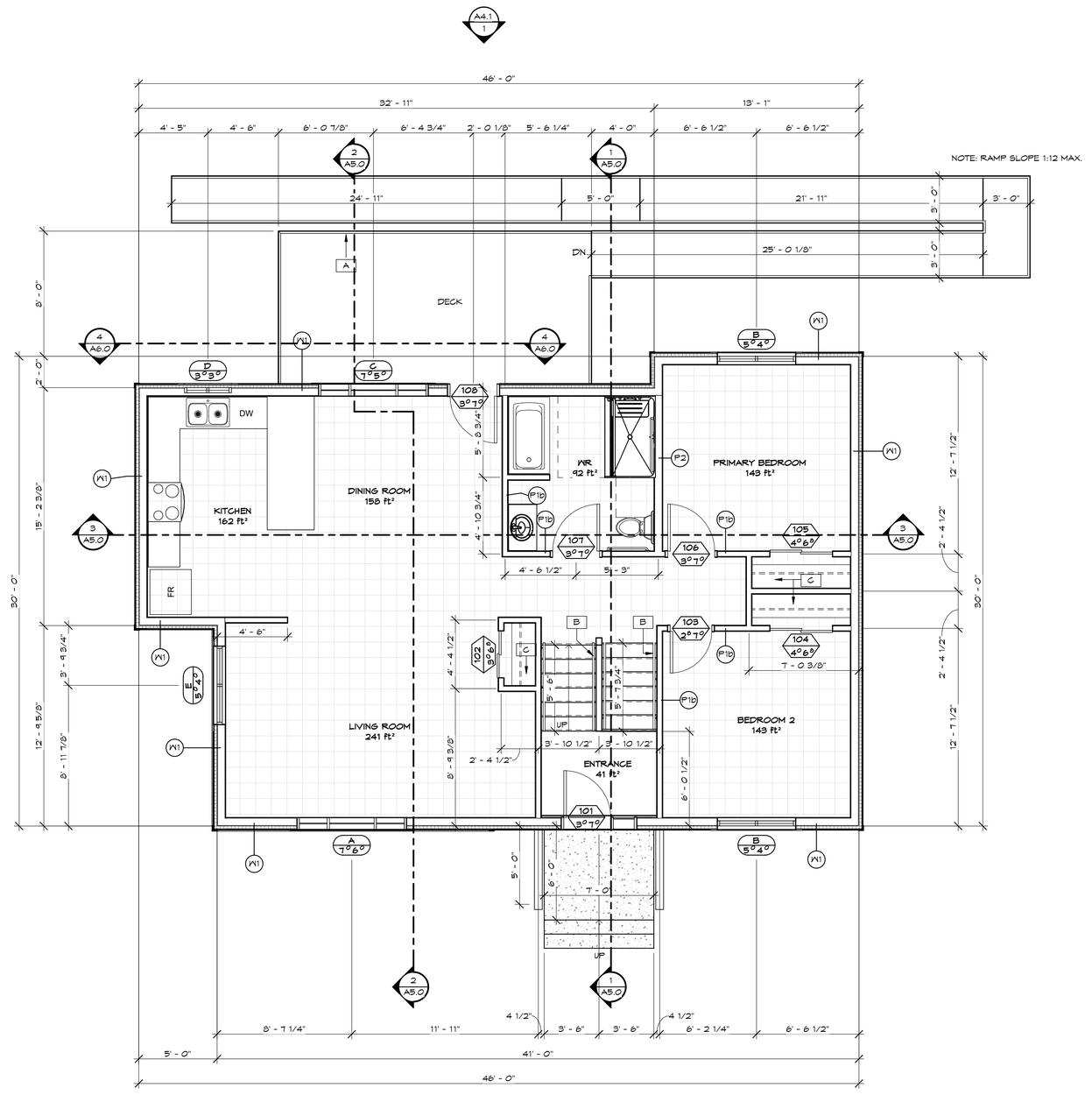
A3.0

2024-11-15 8:43:01 AM

NOTE: ALL WALLS TO BE P1 UNLESS NOTED OTHERWISE

KEYNOTE LEGEND

A	42" MIN. GUARD RAILING
B	HAND RAILING
C	CLOSET ROD AND SHELF



1 / A3.1 OVERALL PLAN - MAIN FLOOR

SCALE = 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2

A3.1

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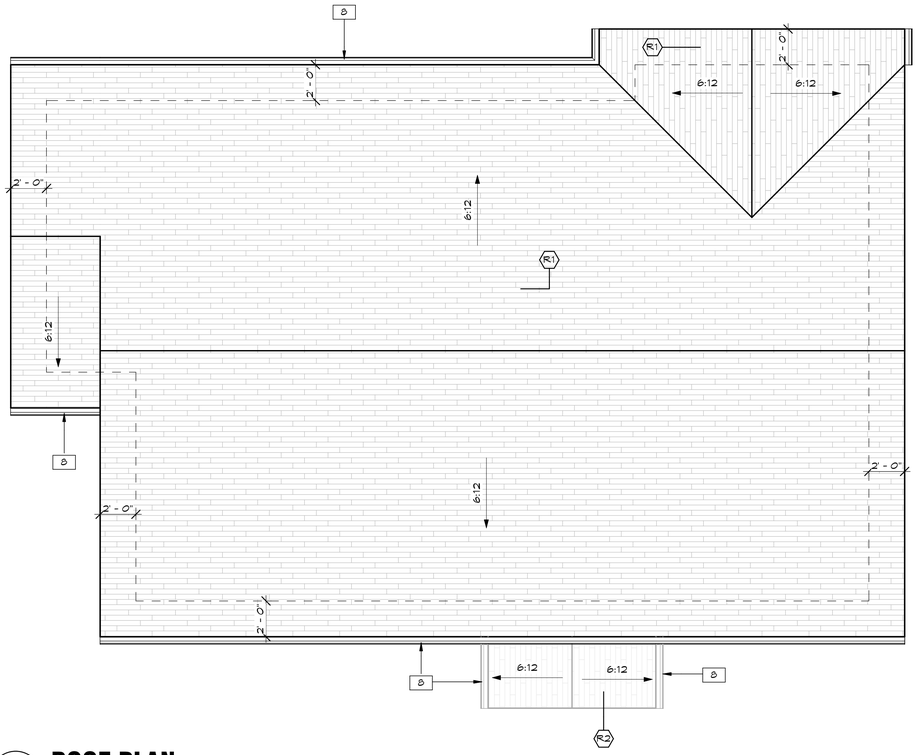
KEYNOTE LEGEND

B	PRE-FINISHED METAL GUTTERS, COLOUR TIMBER BARK. DOWNSPOUT LOCATIONS TO BE DETERMINED ON SITE



1 A3.2 **ROOF PLAN**

SCALE = 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

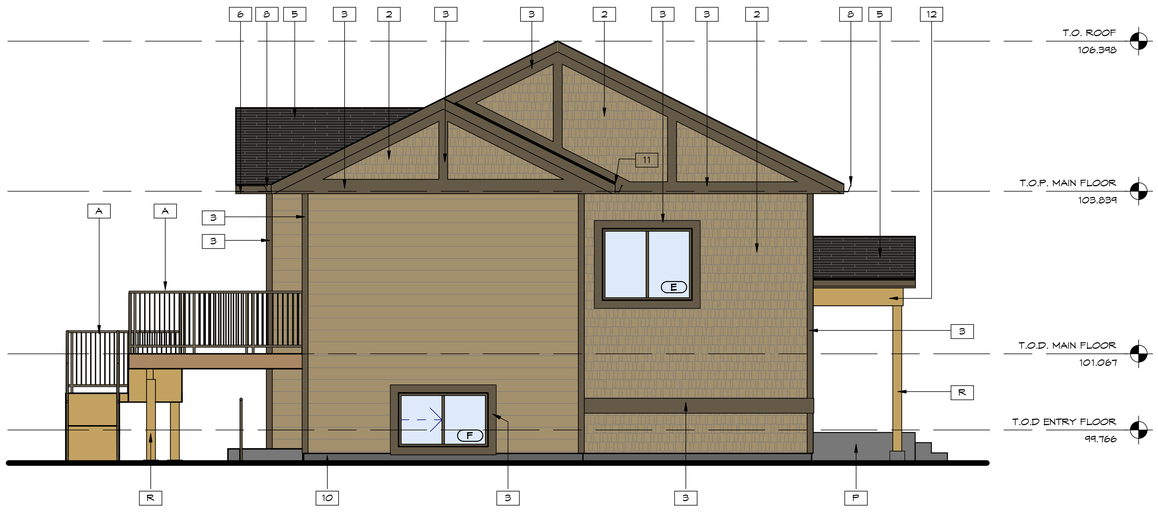
ROOF PLAN

SCALE:	1/4" = 1'-0"
DRAWN:	BS
CHECKED:	RR/AF
May '24	A3.2
24-027-2	

2024-11-15 8:43:02 AM

1 A4.0 **FRONT ELEVATION**

SCALE = 1/4" = 1'-0"



2 A4.0 **LEFT ELEVATION**

SCALE = 1/4" = 1'-0"

KEYNOTE LEGEND

1	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN
2	FIBER CEMENT SHINGLE SIDING, COLOUR KHAKI BROWN
3	FIBER CEMENT TRIM, COLOUR TIMBER BARK
5	ASPHALT SHINGLES
6	PRE-FINISHED METAL FASCIA, COLOUR TIMBER BARK
8	PRE-FINISHED METAL GUTTERS, COLOUR TIMBER BARK. DOWNSPOUT LOCATIONS TO BE DETERMINED ON SITE
10	PARGING, COLOUR GREY
11	PROVIDE KICKOUT FLASHING WHERE ROOF + GUTTER MEEET EXTERIOR WALL
12	WOOD TIMBER CLAD BEAM (BEAM BY OTHERS)
A	42" MIN. GUARD RAILING
P	PRECAST CONCRETE EXTERIOR STAIRS + LANDING
R	BUILT UP WOOD COLUMN (BY OTHERS)

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

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PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

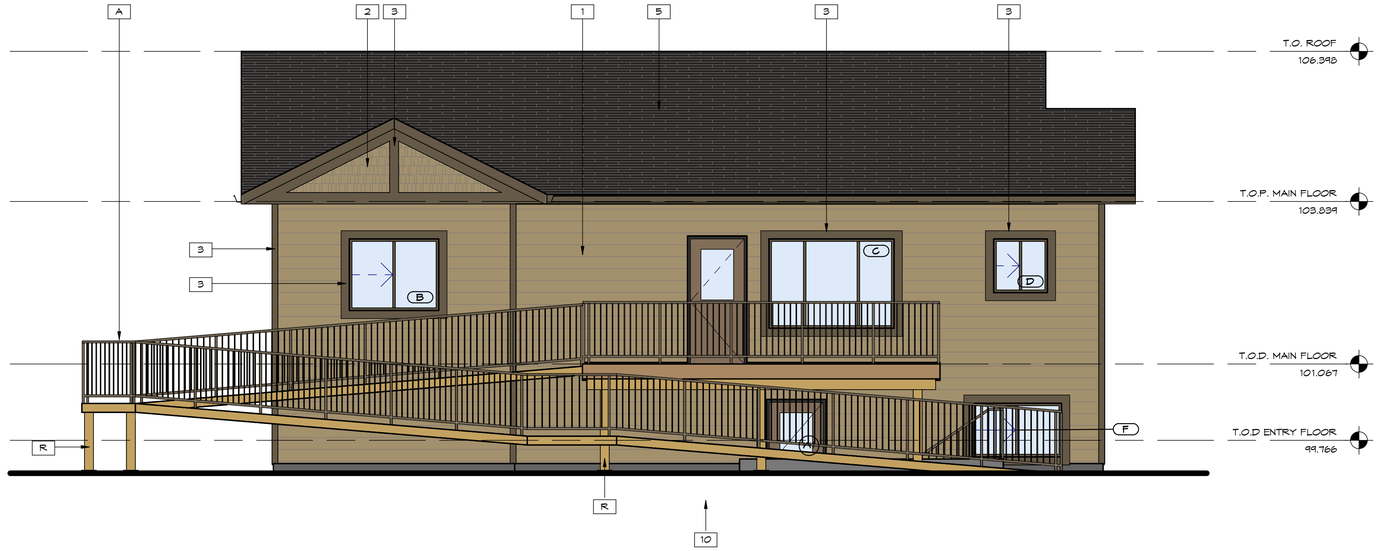
DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2

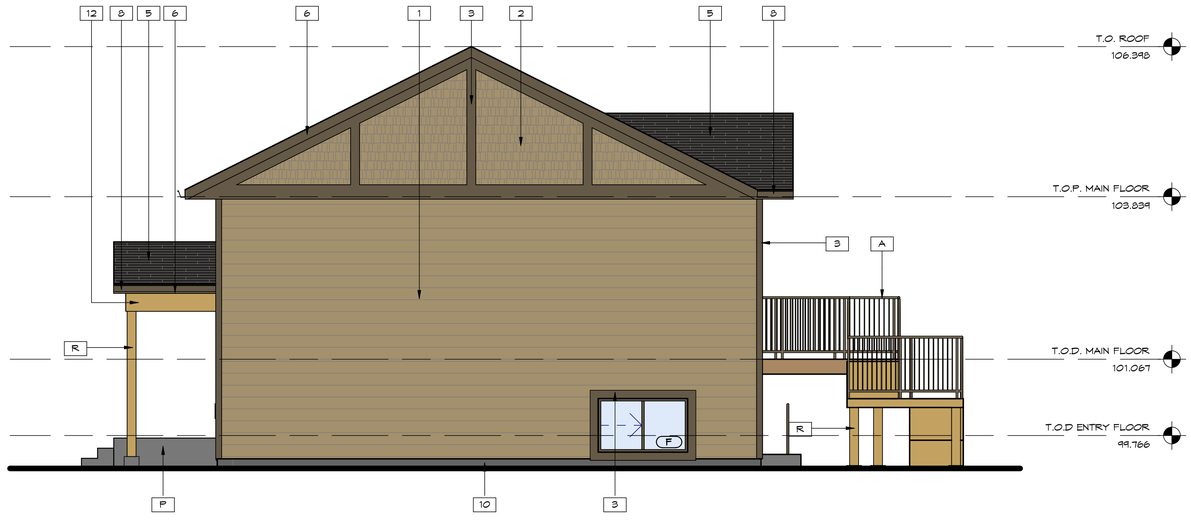
A4.0

2024-11-15 8:43:03 AM



1 A4.1 **REAR ELEVATION**

SCALE = 1/4" = 1'-0"



2 A4.1 **RIGHT ELEVATION**

SCALE = 1/4" = 1'-0"

KEYNOTE LEGEND

1	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN
2	FIBER CEMENT SHINGLE SIDING, COLOUR KHAKI BROWN
3	FIBER CEMENT TRIM, COLOUR TIMBER BARK
5	ASPHALT SHINGLES
6	PRE-FINISHED METAL FASCIA, COLOUR TIMBER BARK
8	PRE-FINISHED METAL GUTTERS, COLOUR TIMBER BARK. DOWNSPOUT LOCATIONS TO BE DETERMINED ON SITE
10	PARGING, COLOUR GREY
12	WOOD TIMBER CLAD BEAM (BEAM BY OTHERS)
A	42" MIN. GUARD RAILING
P	PRECAST CONCRETE EXTERIOR STAIRS + LANDING
R	BUILT UP WOOD COLUMN (BY OTHERS)

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PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

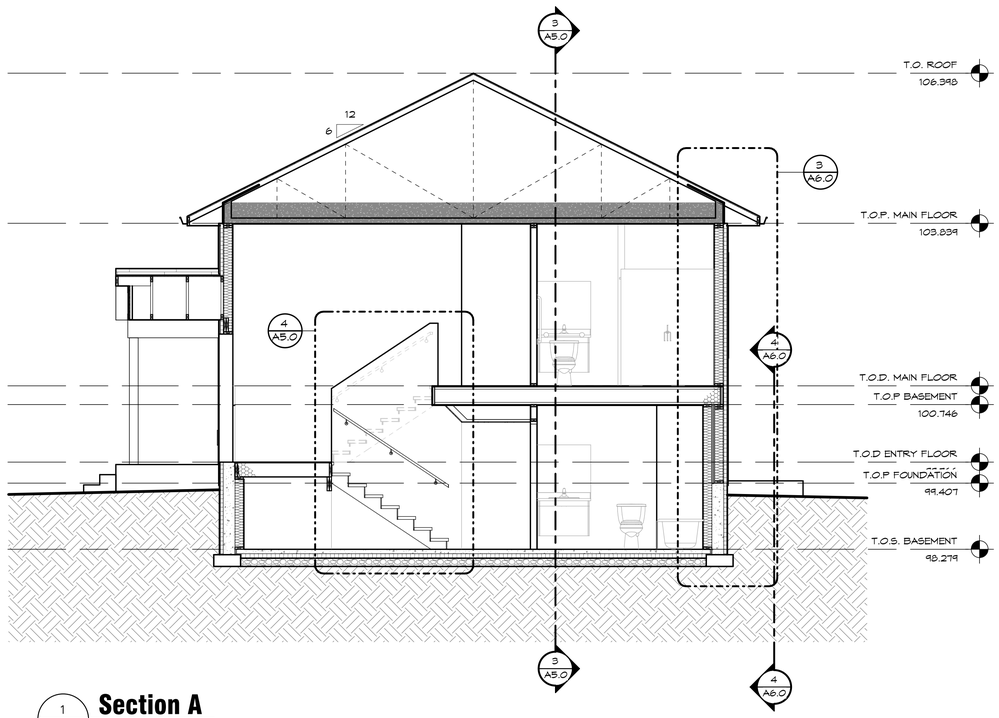
DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-2

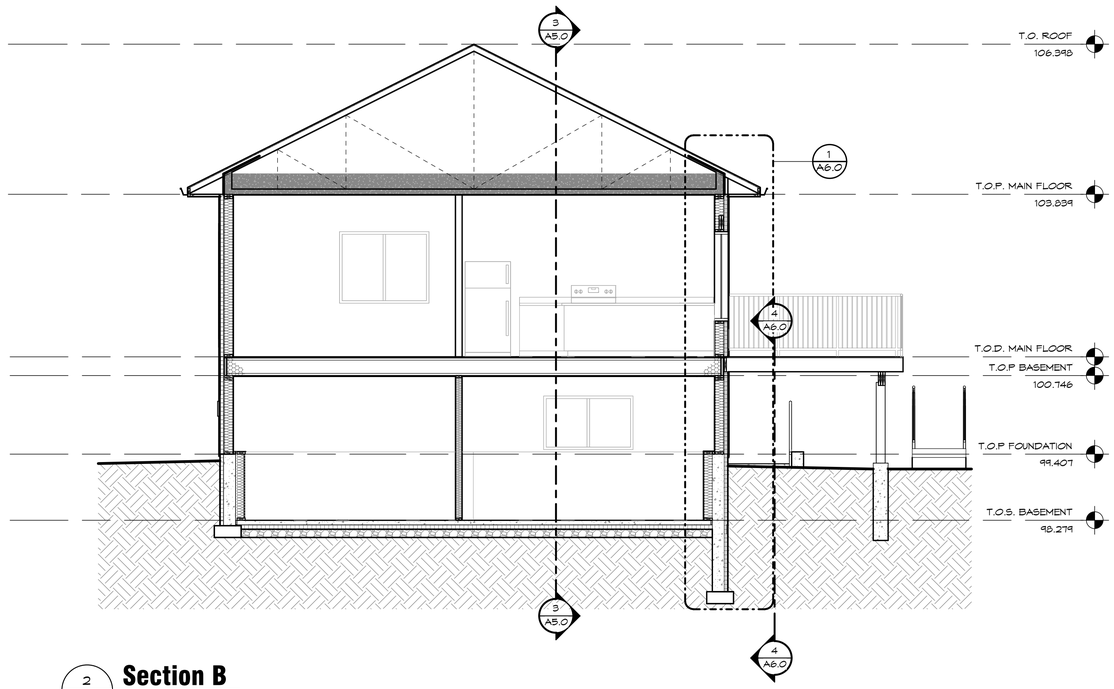
A4.1

2024-11-15 8:43:04 AM



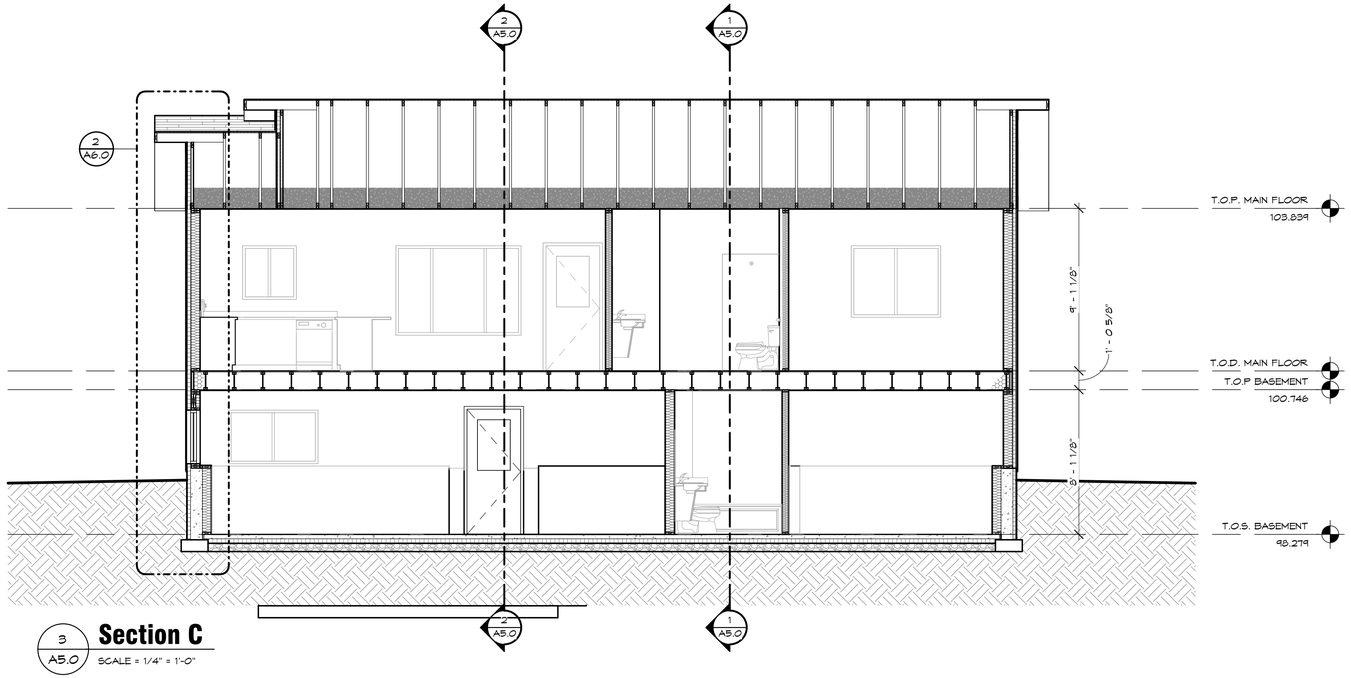
1 A5.0 **Section A**

SCALE = 1/4" = 1'-0"



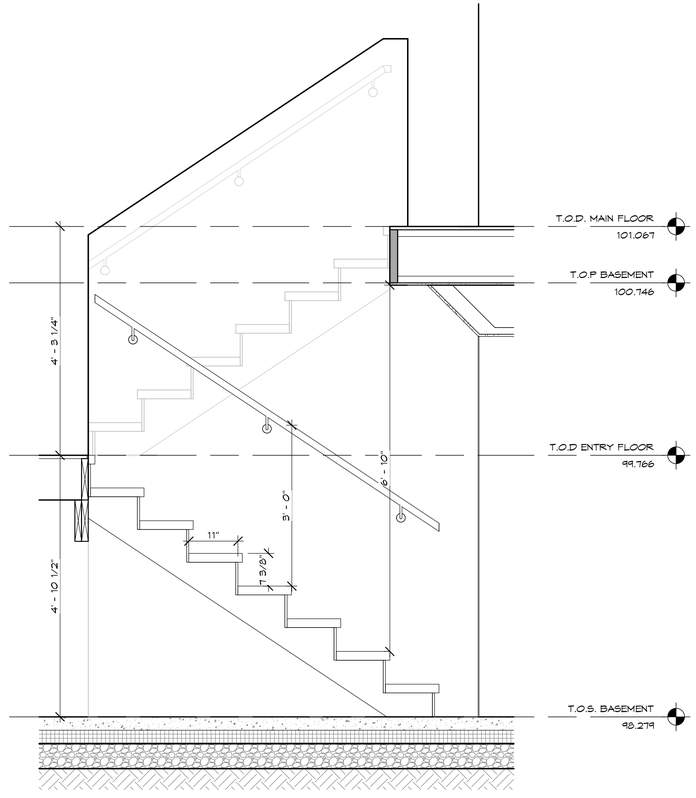
2 A5.0 **Section B**

SCALE = 1/4" = 1'-0"



3 A5.0 **Section C**

SCALE = 1/4" = 1'-0"



4 A5.0 **STAIR SECTION**

SCALE = 3/4" = 1'-0"

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KEY PLAN

REVISIONS + ISSUES

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PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

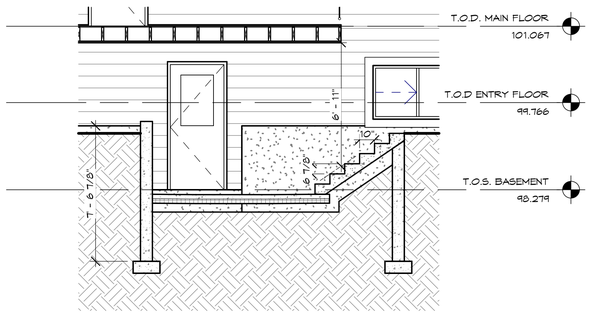
5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

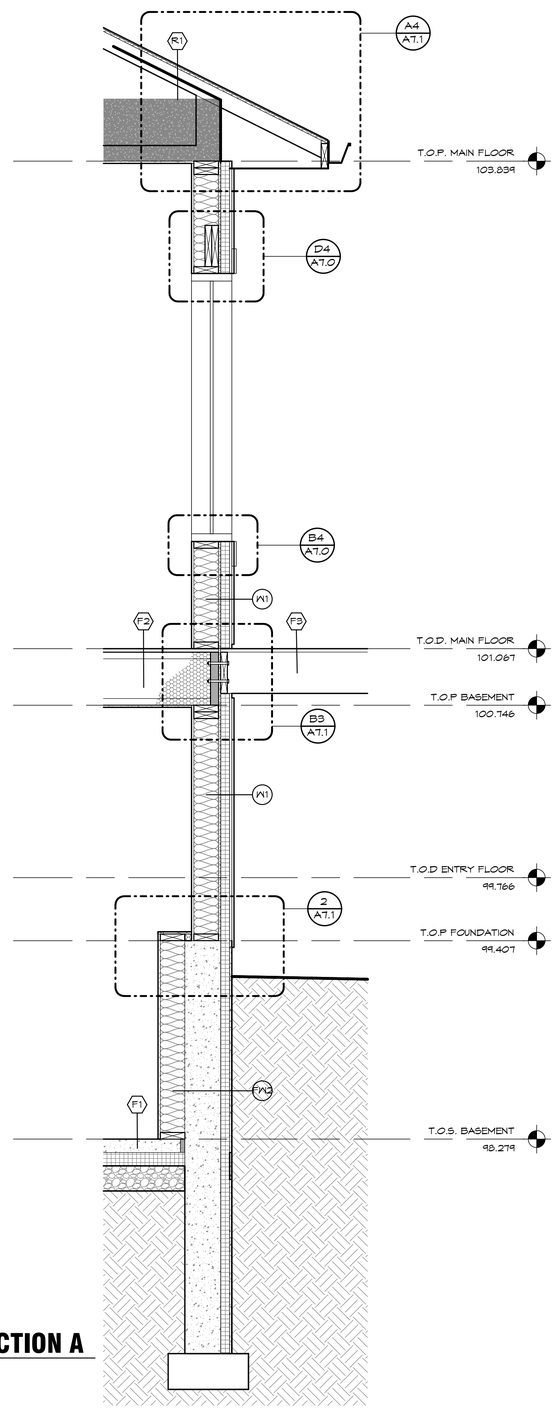
BUILDING SECTIONS

SCALE:	As indicated
DRAWN:	BS
CHECKED:	RR/AF
May '24	
24-027-2	**A5.0**

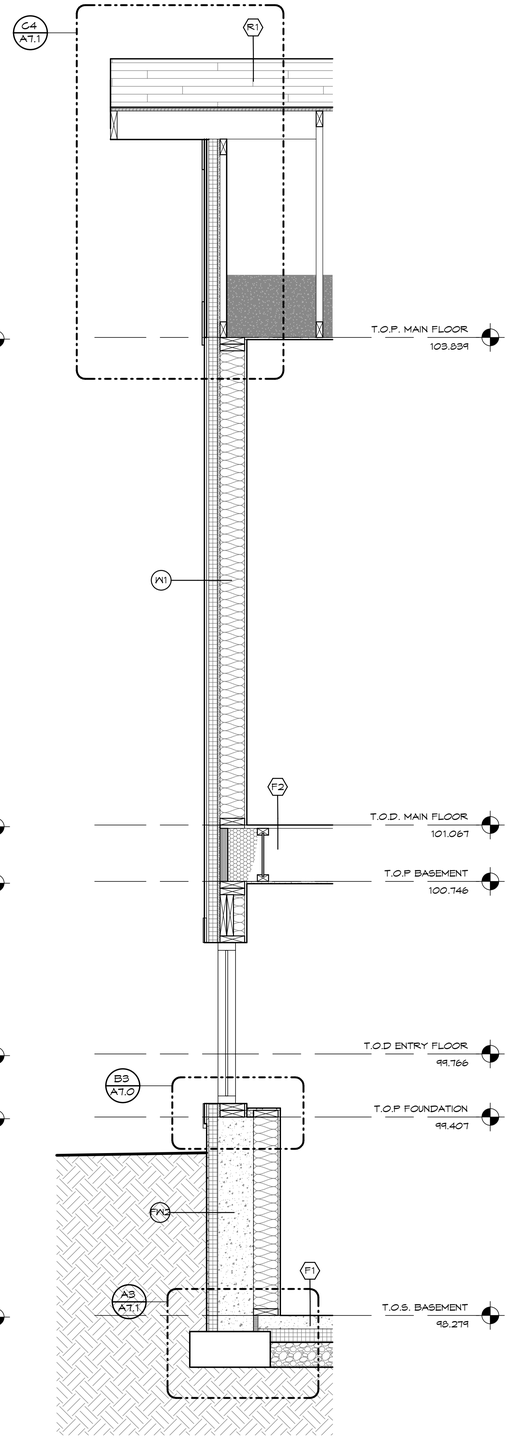
2024-11-15 8:43:05 AM



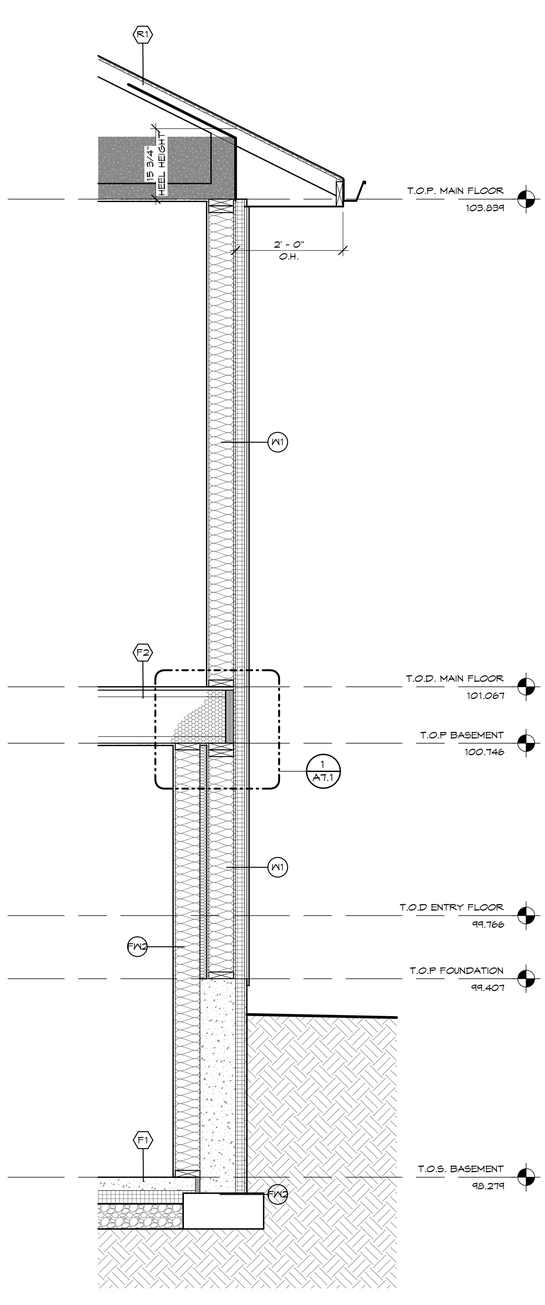
4 / A6.0 **Back Entry Section**
SCALE = 1/4" = 1'-0"



1 / A6.0 **WALL SECTION A**
SCALE = 3/4" = 1'-0"



2 / A6.0 **WALL SECTION B**
SCALE = 3/4" = 1'-0"



3 / A6.0 **WALL SECTION C**
SCALE = 3/4" = 1'-0"

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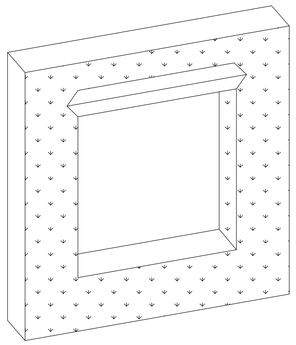
PROJECT TITLE
5451 AQAM SINGLE FAMILY HOUSING
5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
WALL SECTIONS

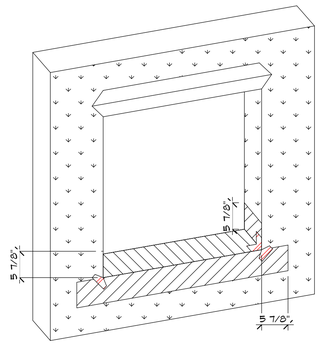
SCALE:	As indicated
DRAWN:	BS
CHECKED:	RR/AF
May '24	A6.0
24-027-2	

2024-11-15 8:43:06 AM

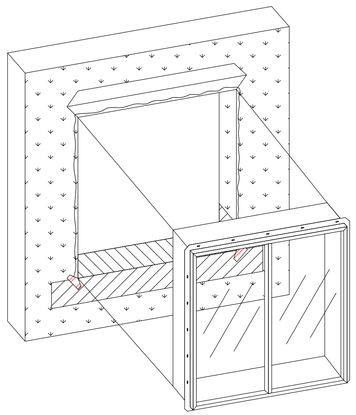
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS. CREATE AIR BARRIER FLAP AT WINDOW HEAD.



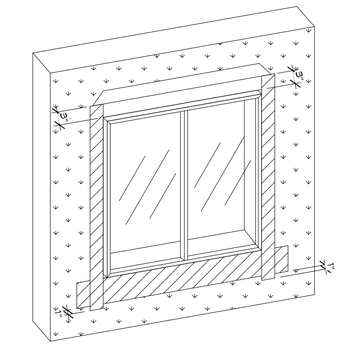
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300mm LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE 150mm UP EACH JAMB. LAP THE OVERHANGING FLASHING DOWN ONTO THE WALL, COVERING THE AIR BARRIER. APPLY BOXTIE PATCH TO BOTTOM CORNERS.



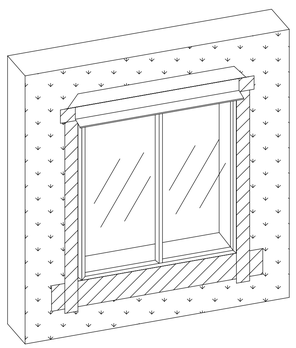
3. APPLY SEALANT TO WINDOW MOUNTING FLANGE (JAMBS AND HEAD ONLY). INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.



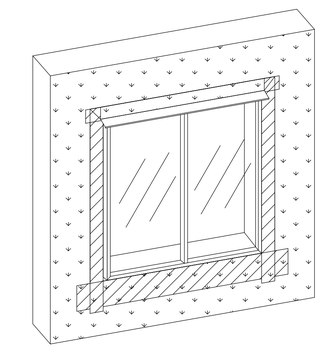
4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.

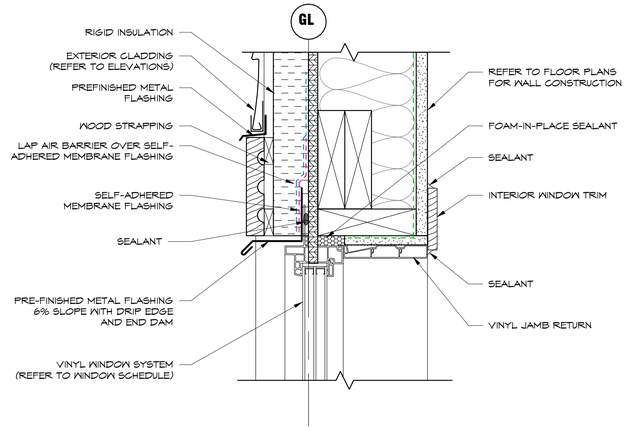


6. RELEASE AIR BARRIER FLAP AND SEAL.

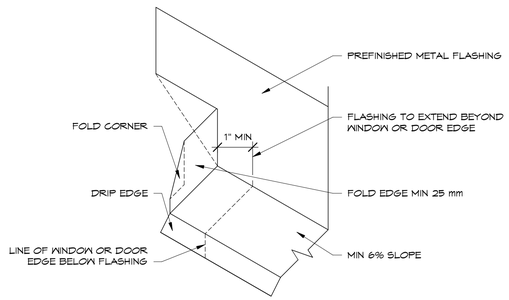


FLASHING WIDTH
THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

A1 / A7.0 **WINDOW FLASHING SEQUENCING DETAIL**
SCALE = 3/4" = 1'-0"

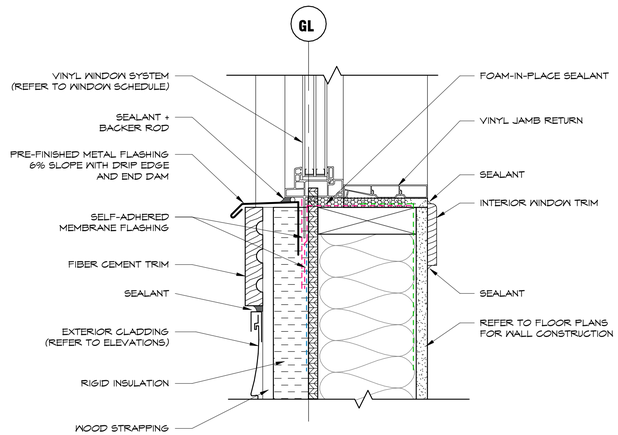


D4 / A7.0 **WINDOW HEADER DETAIL**
SCALE = 3" = 1'-0"

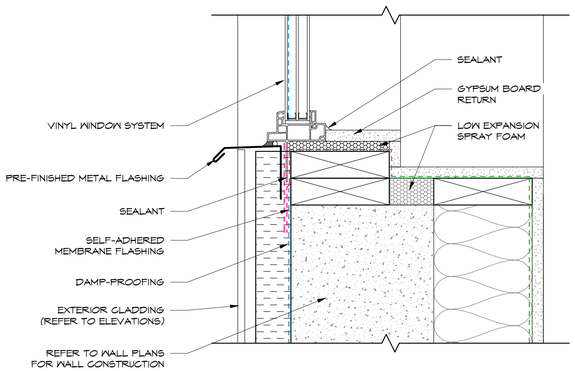


NOTE: CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

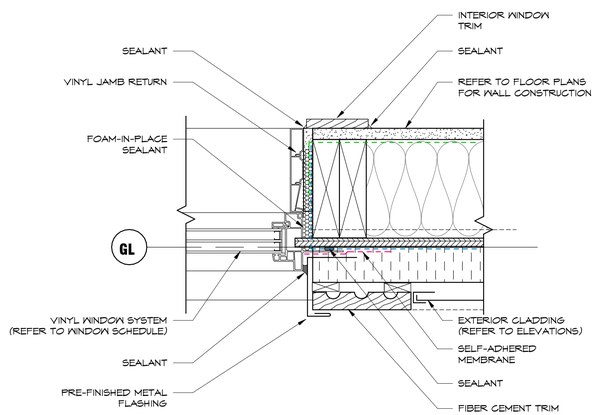
1 / A7.0 **CLOSED END DAM FLASHING DETAIL**
SCALE = 6" = 1'-0"



B4 / A7.0 **WINDOW SILL DETAIL**
SCALE = 3" = 1'-0"



B3 / A7.0 **BASEMENT WINDOW SILL DETAIL**
SCALE = 3" = 1'-0"



A4 / A7.0 **WINDOW JAMB DETAIL**
SCALE = 3" = 1'-0"

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PROJECT TITLE
5451 AQAM SINGLE FAMILY HOUSING
5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE
DETAILS

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
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24-027-2
A7.0

2024-11-15 8:43:06 AM

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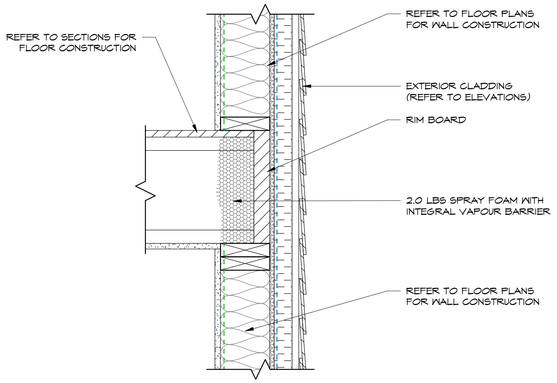
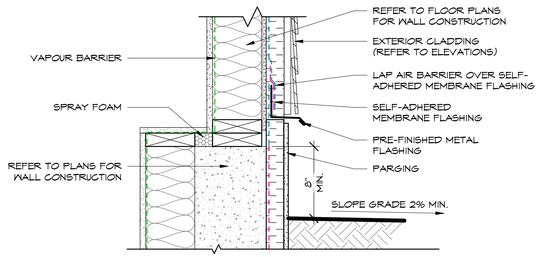
1 2 3 4 5



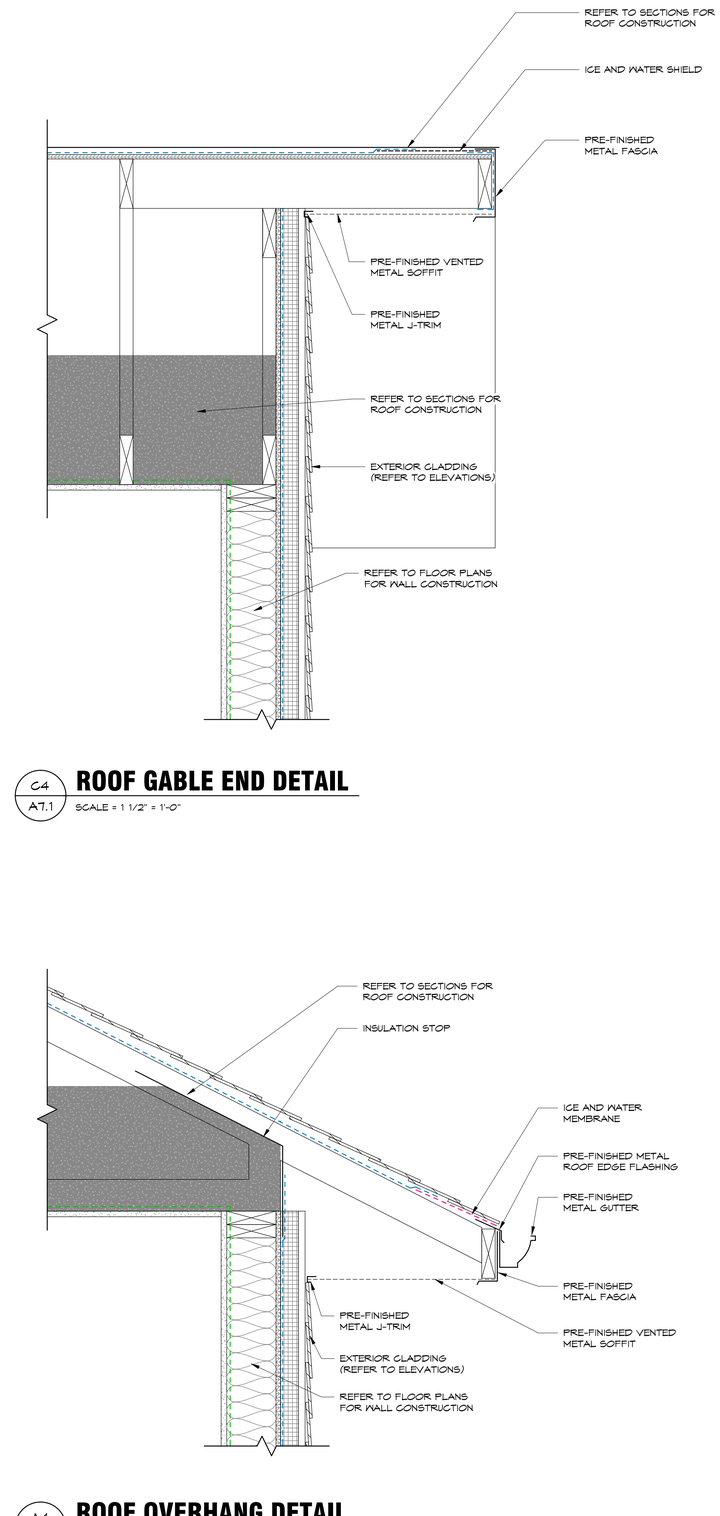
1 A7.1 **FLOOR TO WALL DETAIL**

SCALE = 1 1/2" = 1'-0"



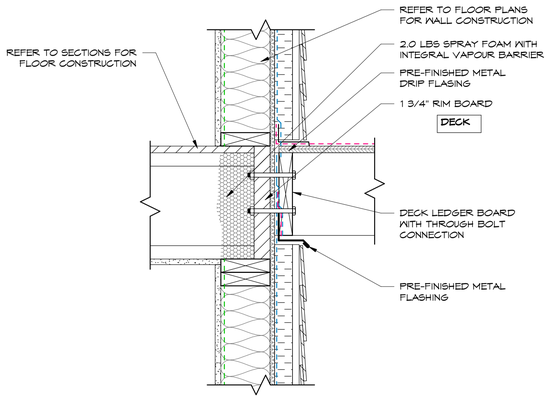
2 A7.1 **FOUNDATION WALL TO WOOD WALL DETAIL**

SCALE = 1 1/2" = 1'-0"



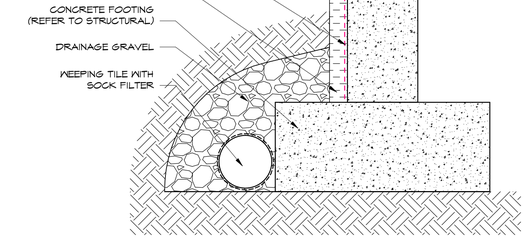
C4 A7.1 **ROOF GABLE END DETAIL**

SCALE = 1 1/2" = 1'-0"



B3 A7.1 **MAIN FLOOR AND DECK CONNECTION DETAIL**

SCALE = 1 1/2" = 1'-0"

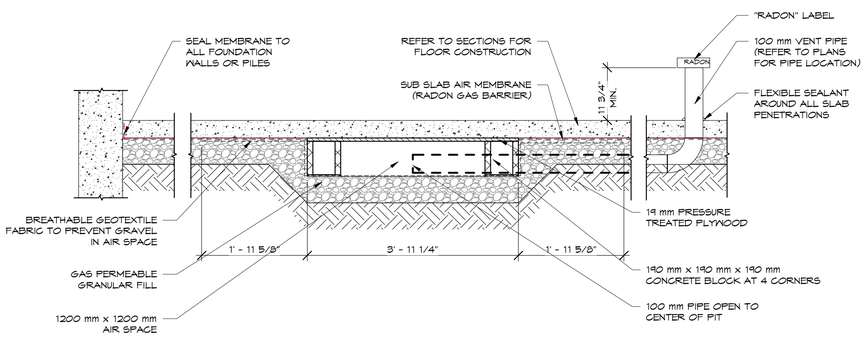


A3 A7.1 **CONCRETE FOOTING DETAIL**

SCALE = 1 1/2" = 1'-0"

A4 A7.1 **ROOF OVERHANG DETAIL**

SCALE = 1 1/2" = 1'-0"



3 A7.1 **RADON PIT SECTION DETAIL**

SCALE = 3/4" = 1'-0"

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PROJECT TITLE

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5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

DETAILS

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May '24
24-027-2

A7.1

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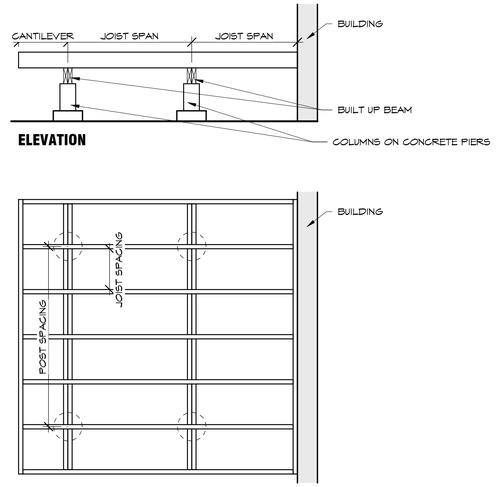
Allowable Joist Spans (meters)													
Joist Size (mm)	300mm Joist Spacing				400mm Joist Spacing				600mm Joist Spacing				Max Allowable Cantilever
	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor	
38 x 89	2.01	2.01	1.91	1.73	1.82	1.82	1.74	1.57	1.51	1.58	1.52	1.32	200
38 x 140	3.05	3.16	3.01	2.66	2.64	2.77	2.73	2.30	2.15	2.26	2.34	1.88	400
38 x 184	3.71	3.89	3.95	3.23	3.21	3.37	3.49	2.80	2.62	2.75	2.85	2.28	400
38 x 235	4.53	4.75	4.92	3.95	3.92	4.12	4.26	3.42	3.20	3.36	3.48	2.79	600

Beam Selection Supporting Two Spans (meters)								
Joist Span (M)	1.2m Post Spacing				1.8m Post Spacing			
	DF-L	H-F	S-P-F	Nor	DF-L	H-F	S-P-F	Nor
2.4	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 235	2-38 x 184	2-38 x 184	2-38 x 235
3.0	2-38 x 140	2-38 x 140	2-38 x 140	2-38 x 184	2-38 x 235	2-38 x 235	2-38 x 235	2-38 x 286
3.7	2-38 x 184	2-38 x 140	2-38 x 140	2-38 x 184	2-38 x 286	2-38 x 235	2-38 x 235	3-38 x 235
4.3	2-38 x 184	2-38 x 184	2-38 x 184	2-38 x 235	2-38 x 286	2-38 x 286	2-38 x 286	3-38 x 235

DF-L	Douglas Fir, Western Larch
H-F	Western Hemlock, Amabilis Fir
S-P-F	White Spruce, Engelmann Spruce, Black Spruce, Red Spruce, Lodgepole Pine, Jack Pine, Alpine Fir, Balsam Fir
Nor	Eastern White Cedar, Western Red Cedar, Yellow Cedar, Grand Fir, Eastern Hemlock, Eastern White Pine, Ponderosa Pine, Red Pine, Western White Pine, Whitebark Pine, Coast Sitka Spruce, Western White Spruce, Eastern Larch, Aspen Poplar, Largetooth Aspen, Black Cottonwood, Balsam Poplar

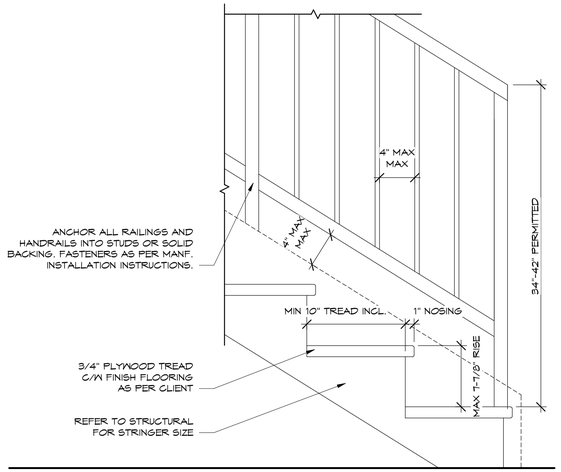
Reference:

Canadian Wood Council: Prescriptive Residential Exterior Wood Deck Span Guide



2 / A7.2 **WOOD DECK SPAN PLAN + ELEV**

SCALE =1 : 25



NOTE: STYLE OF RAILING SUBJECT TO CHANGE, COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF BRITISH COLUMBIA BC SECTION 9.8.7. AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.

STAIR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

1 / A7.2 **TYPICAL STAIR DETAIL**

SCALE = 1 1/2" = 1'-0"

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

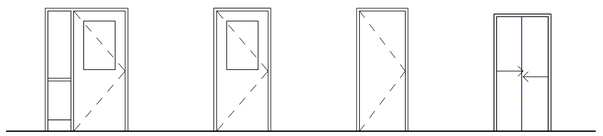
LOCATION			DOOR			
DOOR #	FROM ROOM	TO ROOM	ELEV.	WIDTH	HEIGHT	NOTES
001	CORRIDOR	STORAGE	3	2' - 8"	7' - 0"	
002	LIVING	LAUNDRY/ STORAGE/ MECH.	3	3' - 0"	7' - 0"	
003	CORRIDOR	WR	3	2' - 8"	7' - 0"	
004	CORRIDOR	BEDROOM 3	3	2' - 8"	7' - 0"	
005	BEDROOM 3	BEDROOM 3 CLOSET	4	4' - 0"	6' - 8"	
006	BEDROOM 4	BEDROOM 4 CLOSET	4	4' - 0"	6' - 8"	
007	CORRIDOR	BEDROOM 4	3	2' - 8"	7' - 0"	
008			2	3' - 0"	7' - 0"	
101	EXTERIOR	ENTRANCE	1	3' - 0"	7' - 0"	
102	LIVING ROOM	CLOSET	4	5' - 0"	6' - 8"	
103	CORRIDOR	BEDROOM 2	3	2' - 8"	7' - 0"	
104	BEDROOM 2	BEDROOM 2 CLOSET	4	4' - 0"	6' - 8"	
105	PRIMARY BEDROOM	PRIMARY BEDROOM CLOSET	4	4' - 0"	6' - 8"	
106	CORRIDOR	PRIMARY BEDROOM	3	3' - 0"	7' - 0"	
107	CORRIDOR	WR	3	3' - 0"	7' - 0"	
108	EXTERIOR	DINING ROOM	2	3' - 0"	7' - 0"	

WINDOW SCHEDULE

Type Mark	Width	Height
A	7' - 0"	6' - 0"
B	5' - 0"	4' - 0"
C	7' - 0"	5' - 0"
D	3' - 0"	3' - 0"
E	5' - 0"	4' - 0"
F	5' - 0"	3' - 0"

DOOR ELEVATIONS

NOTE: DOOR STYLES BY OWNER



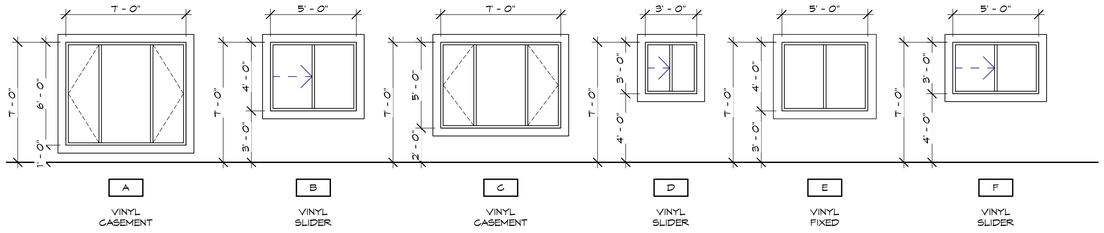
1 EXTERIOR HALF-LITE DOOR W/ SIDELITE

2 EXTERIOR HALF-LITE DOOR

3 SINGLE DOOR

4 BI-PASS DOORS

WINDOW ELEVATIONS



NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT
2024 11 15	RE-ISSUE IFT

PROJECT TITLE

5451 AQAM SINGLE FAMILY HOUSING

5451 MISSION WASA LOW RD, ?AQ'AM, BC

DRAWING TITLE

DETAILS, DOOR + WINDOW SCHEDULES

SCALE: As indicated

DRAWN: BS

CHECKED: RR/AF

May '24

24-027-2

A7.2

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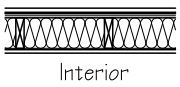
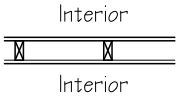
Construction Assemblies

5451 Mission Wasa Low Road, Aqam FN



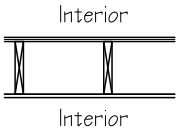
EXTERIOR WALL CONSTRUCTION

EXTERIOR SIDING (SEE SCOPE)
AIR/MOISTURE BARRIER (SEAMS TAPED & SEALED)
RAIN SCREENED SYSTEM
1/2" PLY SHEATHING
2X6 @ 16" KD SPRUCE STUDS
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
1/2" DRYWALL



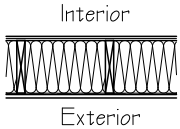
INTERIOR WALL CONSTRUCTION

1/2" DRYWALL BOTH SIDES
2X4 @ 16" KD SPRUCE (2X6 WHERE SCOPED)



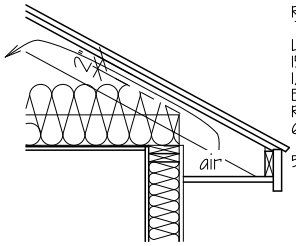
FLOOR CONSTRUCTION

5/8" T&G OSB (GLUE & SCREW)
2X10 FLOOR JOISTS AS SCOPED
2X2 CROSS BRIDGING AS REQUIRED
1/2" DRYWALL



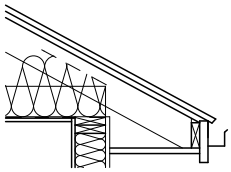
CANTILEVERED FLOORS

5/8" T&G OSB (GLUE & SCREW)
2X10 FLOOR JOISTS AS SCOPED
2X2 CROSS BRIDGING AS REQUIRED
R32 BATT INSULATION
6 MIL POLY GAS BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
1/2" DRYWALL



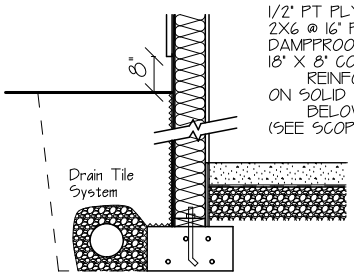
ROOF CONSTRUCTION

LAMINATED ASPHALT SHINGLES
15 LB NON-PERF. ASPH. FELT W/SELF ADHERED EAVE PROT.
1/2" PLYWOOD SHEATHING
ENGINEERED ROOF TRUSSES @ 24" OC
R60 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
5/8" DRYWALL



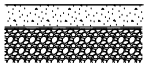
OVERHANG CONSTRUCTION

GUTTER AS PER SCOPE
2X8 COMB FACE FASCIA
PERFORATED ALUM SOFFIT



FOUNDATION WALL CONSTRUCTION

1/2" PT PLYWOOD
2X6 @ 16" PT WALL (INSULATE PER SCOPE)
DAMPPROOF 2 COATS BELOW GRADE
18" X 8" CONC. FOOTING
REINFORCE AS PER SCOPE
ON SOLID BEARING OR COMPACTED GRANULAR FILL
BELOW FROST LEVEL
(SEE SCOPE FOR INSULATION)

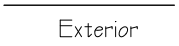


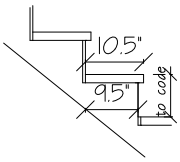
INTERIOR FLOOR SLAB

4" CONCRETE SLAB
6 MIL POLY
RIGID INSULATION AS PER SCOPE

DECK CONSTRUCTION (WOOD)

5/4 X 6 PR. TR. WOOD DECK
DECK JOISTS AS PER SCOPE



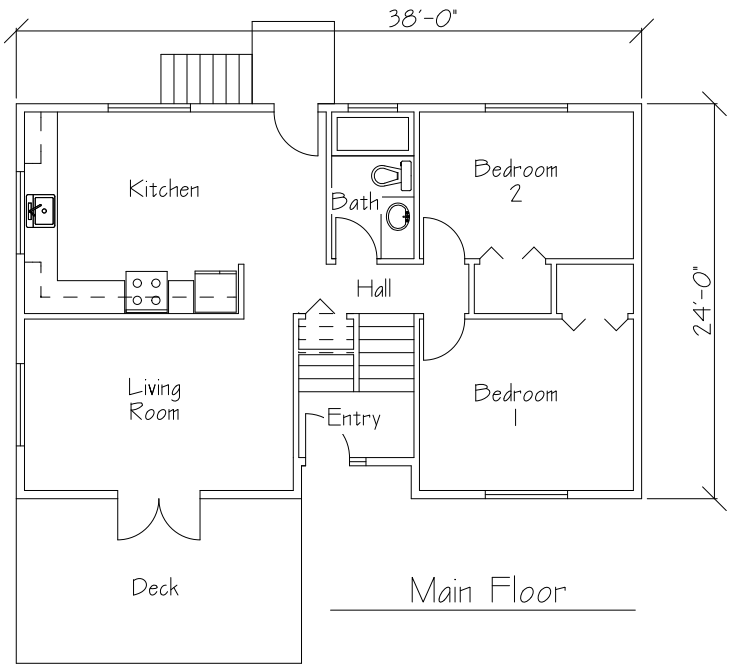


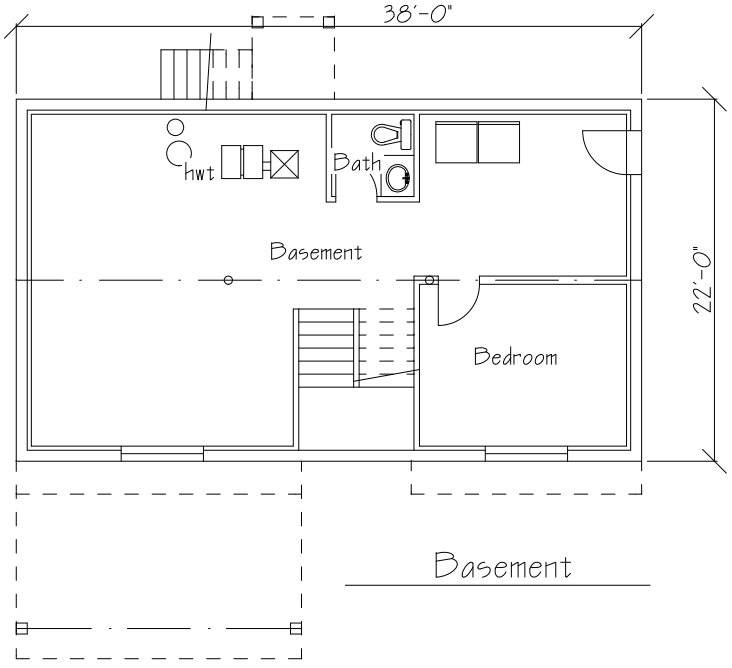
STAIR CONSTRUCTION

WOOD TREADS AS PER SCOPE
1/2" PLY RISERS
2X10 STRINGERS @ 12"

Floor Layouts

5451 Mission Wasa Low Road, Aqam FN





DRAWING SYMBOLS LEGEND

101-1 — DOOR TAG REFER TO SCHEDULE

A — WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM NAME / 101 — ROOM TAG

DETAIL INDICATOR
Ref — DETAIL #
B1 / A6.0 — PAGE CROSS REFERENCE

WALL SECTION INDICATOR
Ref — SECTION #
B1 / A6.0 — VIEW DIRECTION OF SECTION
PAGE CROSS REFERENCE

BUILDING SECTION & ELEVATION INDICATOR
Ref — SECTION #
B1 / A6.0 — VIEW DIRECTION OF ELEVATION
PAGE CROSS REFERENCE

LEVEL NAME / ELEVATION — ELEVATION INDICATOR

CH= 3000 — CEILING HEIGHT INDICATOR

? — KEYNOTE INDICATOR

P2 — WALL TYPE SYMBOL

R2 — ROOF TYPE SYMBOL

F- — FLOOR TYPE SYMBOL

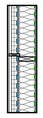
PT- — WALL FINISH TAG

PL- — MILLWORK TAG

NORTH ARROW

ASSEMBLIES LEGEND

EXTERIOR WALLS



W1 — EXTERIOR WALL
EXTERIOR CLADDING (REFER TO ELEVATIONS)
1X4 WOOD STRAPPING @ 16" O.C.
2" RIGID INSULATION
AIR BARRIER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUD @16" O.C. WITH R20 MIN. BATT INSULATION IN STUD SPACE
6 MIL VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

FOUNDATION WALLS

FW1 — FOUNDATION WALL
PARGING
2" RIGID INSULATION
DAMPPROOFING
8" CONCRETE WALL

INTERIOR PARTITIONS

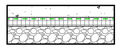
F1 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" O.C.
1/2" GYPSUM WALL BOARD

F1a — 2x4 INTERIOR PARTITION
2x4 WOOD STUD @16" O.C.
1/2" GYPSUM WALL BOARD

F1b — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x4 WOOD STUD @16" O.C. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD

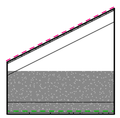
F2 — 2x4 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
2x6 WOOD STUD @16" O.C. WITH BATT INSULATION IN STUD SPACE
1/2" GYPSUM WALL BOARD

FLOOR ASSEMBLIES LEGEND



F1 — INSULATED BASEMENT SLAB
4" REINFORCED CONCRETE SLAB
10 MIL RADON VAPOUR BARRIER
3" HIGH DENSITY RIGID INSULATION 48" AROUND PERIMETER
COMPACTED GRAVEL

ROOF ASSEMBLIES LEGEND



R1 — INSULATED TRUSS ROOF
ASPHALT SHINGLES
ROOF UNDERLAY
1/2 PLYWOOD SHEATHING WITH H-CLIPS
ENGINEERED WOOD TRUSSES (BY OTHERS)
BLOWN CELLULOSE R50 MIN.
6 MIL VAPOUR BARRIER
1/2" SAG RESISTANT GYPSUM BOARD

SUBSTITUTION NOTES:
- USE R50 MIN. BATT INSULATION WHERE CEILING IS SLOPED
- USE PRE-FINISHED METAL SOFFIT WHERE BOTTOM OF TRUSS IS EXPOSED TO EXTERIOR

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
2. CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
3. ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL BUILDING CODE AND LOCAL ORDINANCES.
4. COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS.
5. ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS. (BY OTHERS)
7. ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
8. NOT USED
9. PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
10. ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR SILLS SHALL BE PRESSURE TREATED.
11. FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
12. SEE MECHANICAL AND ELECTRICAL FOR DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
13. NOT USED
14. PROVIDE ACOUSTICAL SEALANT AT SOUND RATED PARTITIONS.
15. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS, STAGGER OUTLETS. PROVIDE ACOUSTICAL SEALANT ALL AROUND.
16. WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN FIRE RATED PARTITIONS, PROVIDE PUTTY PACKS TO MAINTAIN FIRE RATINGS.
17. NOT USED
18. NOT USED

Berry Architecture + Associates
Suite 200, 5218-50 Avenue
Red Deer, T4N 4B5

Phone: 403-314-4461
Contact: Benjamin Schindel

ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name
A0.0	TITLE PAGE
A2.0	SITE PLAN + CODE REVIEW
A3.0	FOUNDATION + MAIN FLOOR PLAN
A3.1	ROOF PLAN + REFLECTED CEILING PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING + WALL SECTIONS
A7.0	DETAILS
A7.1	DETAILS, DOOR + WINDOW SCHEDULES

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

PROJECT TITLE
5480 AQAM SINGLE FAMILY HOUSING
5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE
TITLE PAGE

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1
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BRITISH COLUMBIA BUILDING CODE - 2024 EDITION REVIEW

Nova Homes

Regulation:	Requirement:	Proposed:
Building Classification 9.10.2.1.	1) ..., every building or part thereof shall be classified according to its major occupancy as belonging to one of the groups or divisions described in Table 9.10.2.1.	Group C - Residential
Building Height Division A: 1.3.3.3.	3 storeys or less in building height	2 Storeys
Building Area Division A: 1.3.3.3.	Building area not exceeding 600 sq. m	153.8 sq.m

Regulation:	Requirement:	Proposed:
Egress Windows or Doors for Bedrooms 9.9.10.1	1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door openable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware. 2) The window referred to in Sentence (1) shall a) provide an unobstructed opening of not less than 0.35 m2 in area with no dimension less than 380 mm, and b) maintain the required opening during an emergency without the need for additional support. 3) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 760 mm shall be provided in front of the window.	Windows Comply refer to schedule

Regulation:	Requirement:	Proposed:
Protection from Soil Gas Ingress 9.13.4.2.(1) 9.13.4.2.(2)	1) All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system conforming to Subsection 9.25.3. 2) Unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, dwelling units and buildings containing residential occupancies shall be provided with the rough-in for a radon extraction system conforming to Article 9.13.4.3.	Radon Mitigation Provide
Vent Requirements 9.19.1.2	..., the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area 2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area	
Thermal Characteristics Climate Zone 6 9.36.2.6.	..., the effective thermal resistance of above-ground opaque building assemblies or portions thereof shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.6.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.6.-B, where the ventilation system includes heat-recovery equipment conforming to Article 9.36.3.9	
Minimum Effective RSI		
Ceilings Below Attics	8.67	
Catherdral ceilings and flat roofs	4.67	
Walls	3.08	
Floors Over Unheated spaces	4.67	
Thermal Characteristics of Building Assemblies Below-Grade or in Contact with the Ground 9.36.2.8	..., the effective thermal resistance of building assemblies that are below-grade or in contact with the ground shall be not less than that shown for the applicable heating-degree day category in a) Table 9.36.2.8.-A, where the ventilation system does not include heat-recovery equipment, or b) Table 9.36.2.8.-B, where the ventilation system includes heat-recovery equipment	
Minimum Effective RSI		
Foundation Walls	3.46	
Unheated Floors Below Frost Line	Uninsulated	
Unheated Floor Above Frost Line	1.96	
Slab-on-grade with an Integral Footing	1.96	

1 / A2.0 **SITE PLAN**

SCALE = 1/16" = 1'-0"

NOT FOR CONSTRUCTION

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

PROJECT TITLE

5480 AQAM SINGLE FAMILY HOUSING

5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE

SITE PLAN + CODE REVIEW

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1
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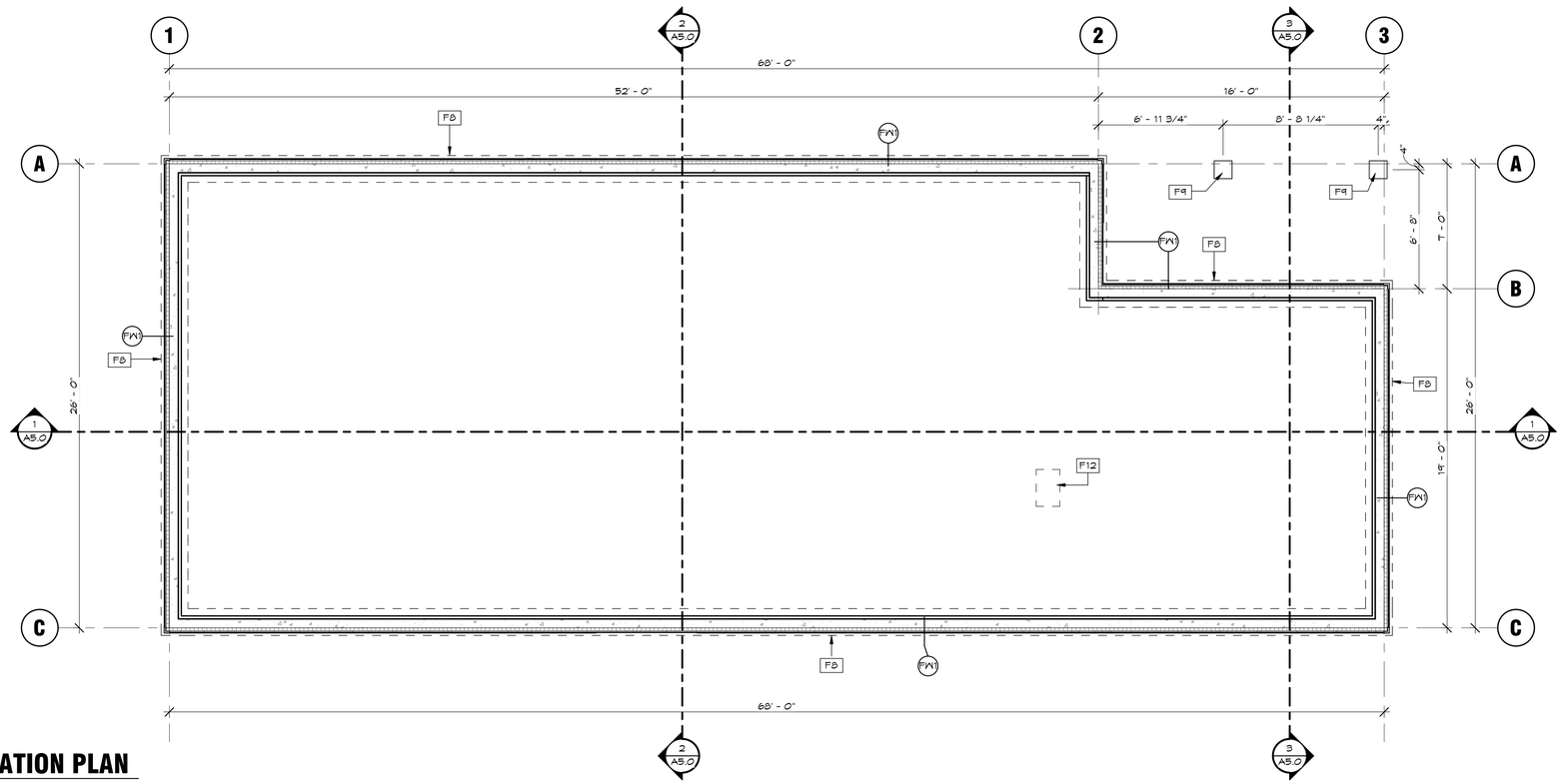
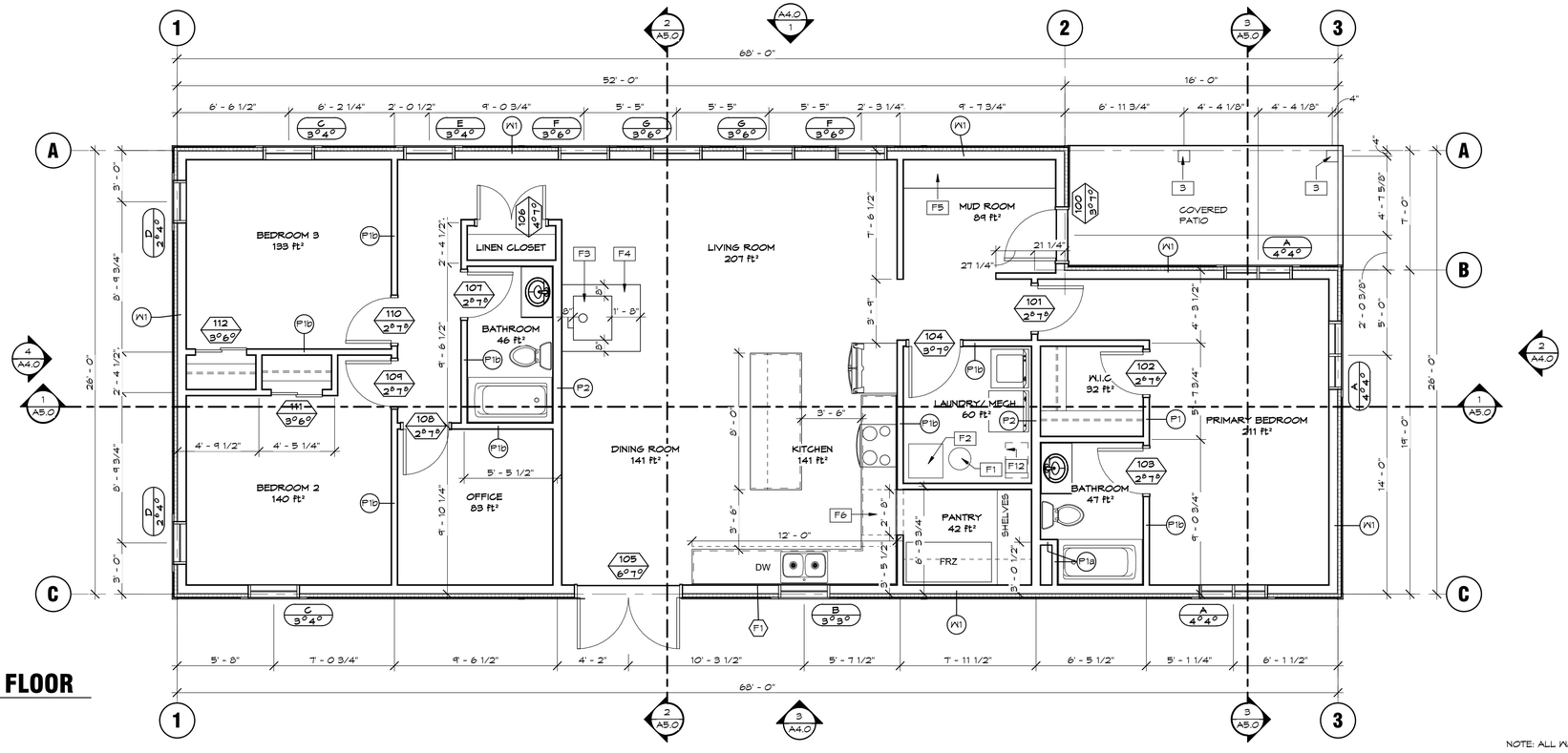


KEYNOTE LEGEND

3	8x8 WOOD TIMBER COLUMNS.
F1	HOT WATER TANK.
F2	FURNACE.
F3	WOODBURNING STOVE. INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.
F4	WOODBURNING STOVE HEARTH.
F5	BUILT IN BENCH WITH COATHOOKS.
F6	PANTRY ENTRANCE AS FALSE CABINET INCORPORATED INTO KITCHEN CABINETRY.
F8	CONCRETE STRIP FOOTING
F9	12"X12"X48" MIN. CONCRETE PILE
F12	RADON PIT

1 / A3.0 **OVERALL PLAN - FOUNDATION PLAN**

SCALE = 1/4" = 1'-0"



2 / A3.0 **OVERALL PLAN - MAIN FLOOR**

SCALE = 1/4" = 1'-0"

NOTE: ALL WALLS TO BE P1 UNLESS NOTED

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

NOT FOR CONSTRUCTION

PROJECT TITLE

5480 AQAM SINGLE FAMILY HOUSING

5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE

FOUNDATION + MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1

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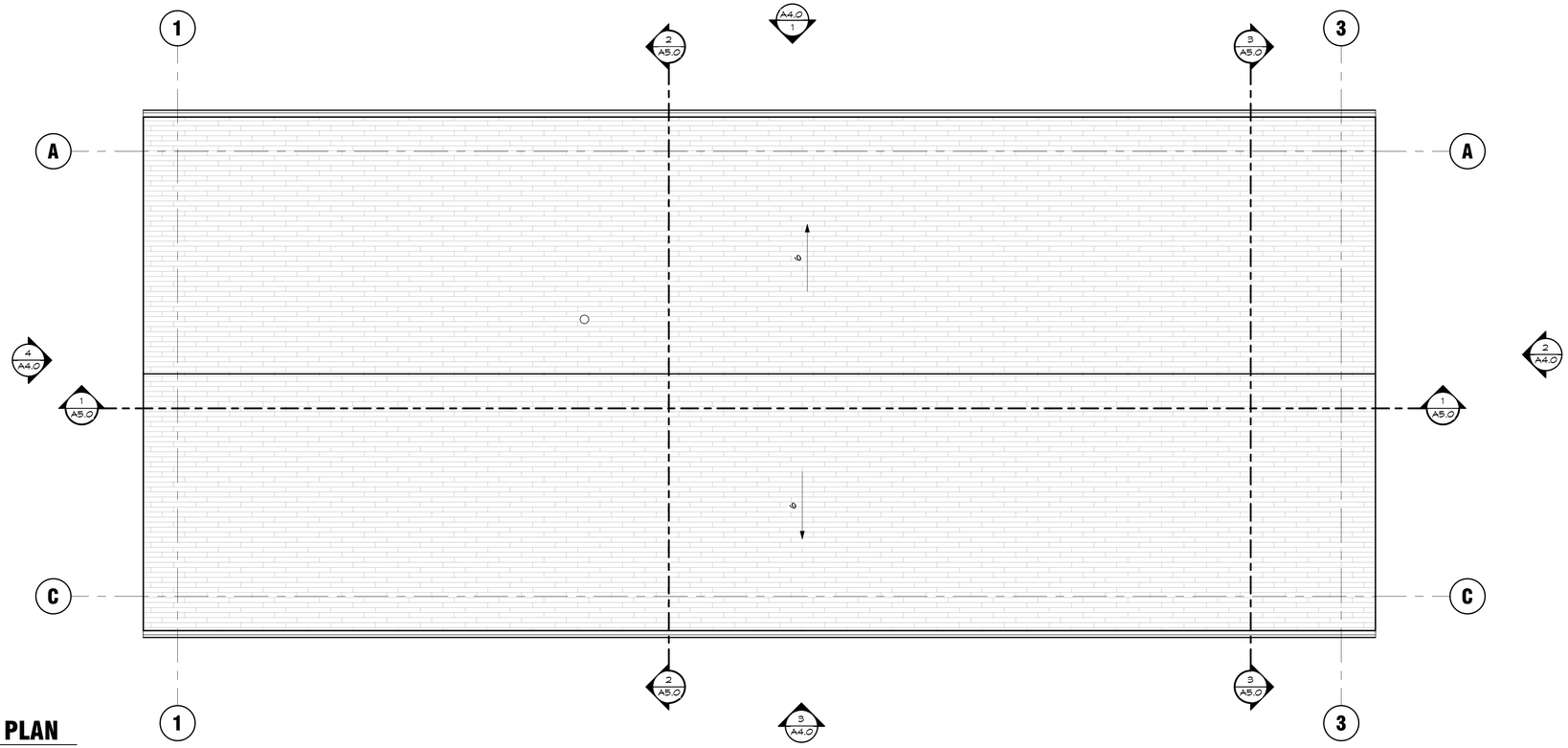
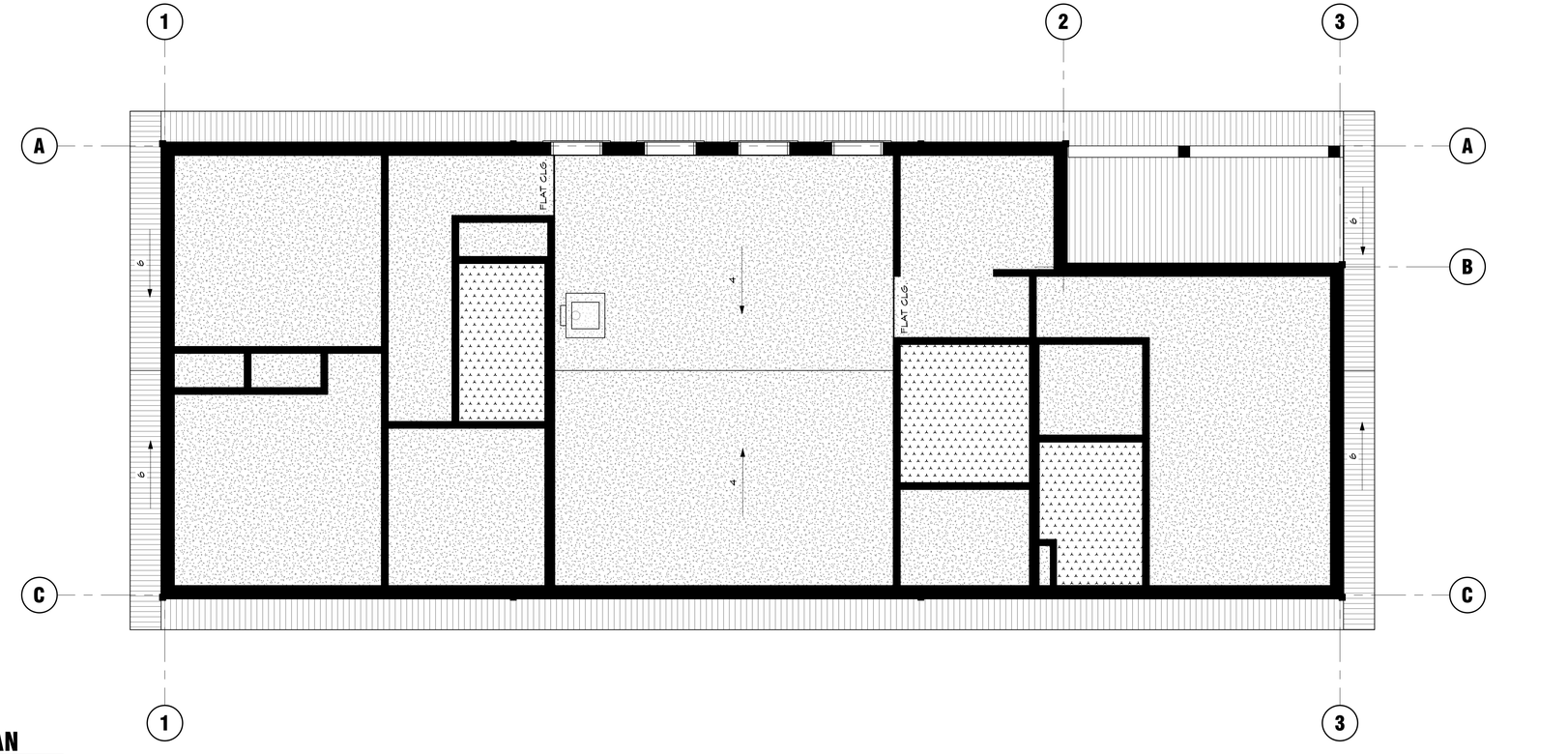


C1 / A3.1 **OVERALL PLAN - ROOF PLAN**

SCALE = 1/4" = 1'-0"



NOTE: CEILING HEIGHT TO UNDERSIDE OF STRUCTURE (REFER TO SECTIONS)

LEGEND

GYPSUM BOARD, MOISTURE RESISTANT, PAINTED.

GYPSUM BOARD, KNOCKDOWN TEXTURE, PAINTED.

A1 / A3.1 **REFLECTED CEILING PLAN**

SCALE = 1/4" = 1'-0"

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

PROJECT TITLE

5480 AQAM SINGLE FAMILY HOUSING

5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE

ROOF PLAN + REFLECTED CEILING PLAN

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1

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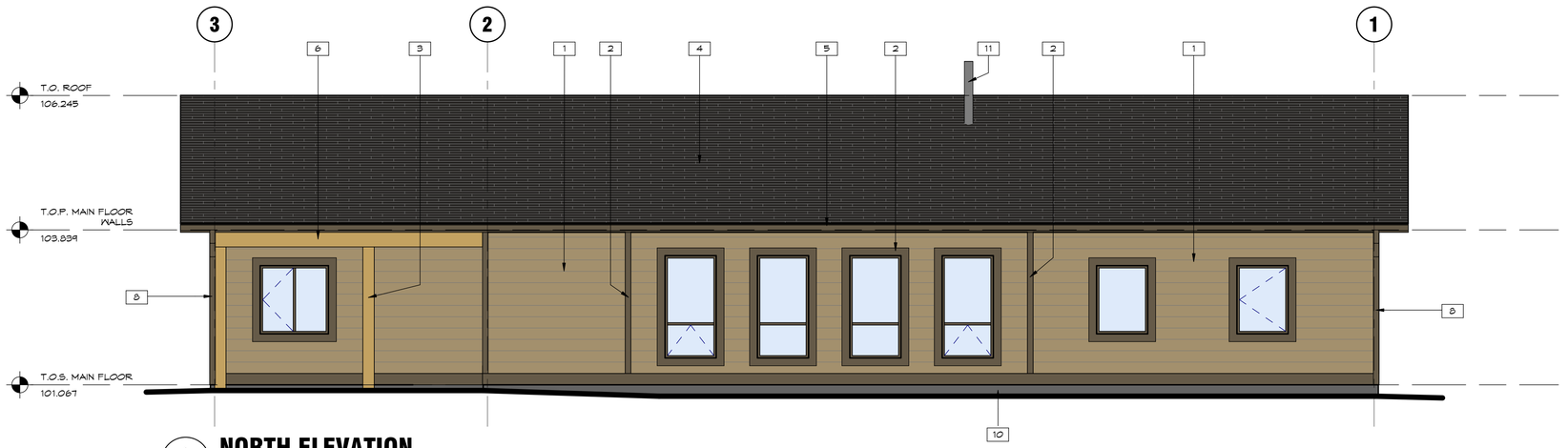
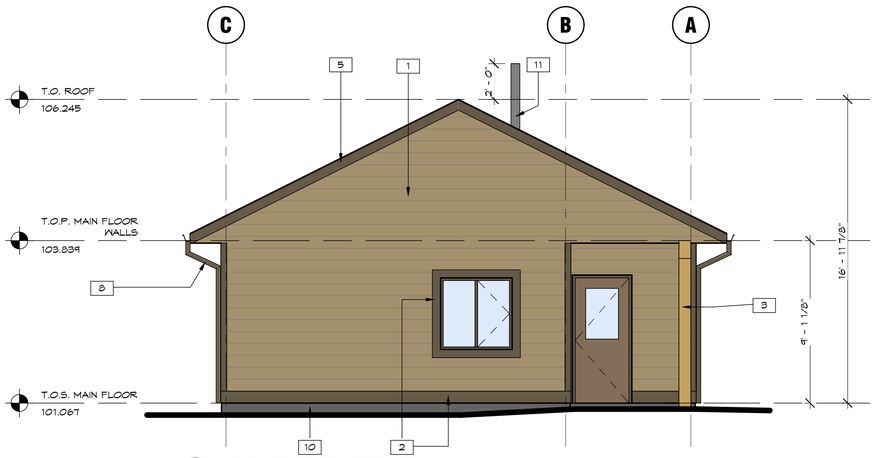


1 A4.0 **NORTH ELEVATION**

SCALE = 1/4" = 1'-0"

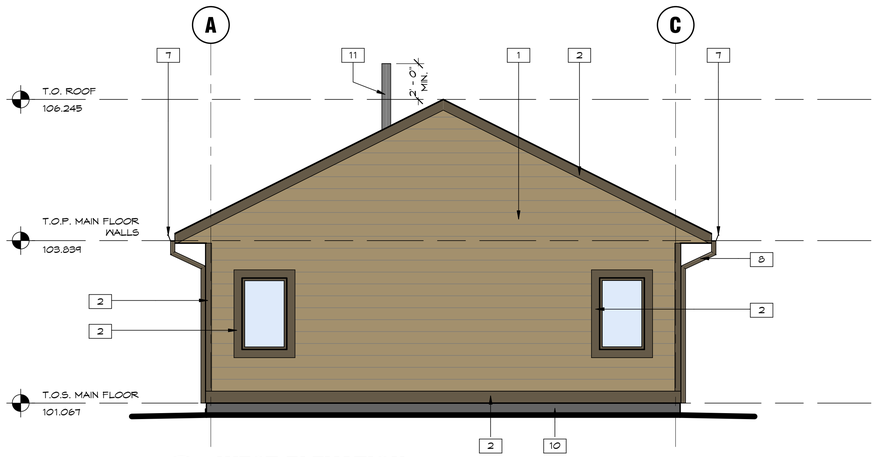
KEYNOTE LEGEND

1	FIBER CEMENT LAP SIDING, COLOUR KHAKI BROWN.
2	FIBER CEMENT TRIM, COLOUR TIMBER BARK.
3	8x8 WOOD TIMBER COLUMNS.
4	ASPHALT SHINGLES.
5	PRE-FINISHED METAL FASCIA, COLOUR TIMBER BARK.
6	WOOD TIMBER BEAM (BEAM SIZE BY OTHERS).
7	PRE-FINISHED 5" METAL GUTTER, COLOUR TIMBER BARK.
8	PRE-FINISHED METAL DOWNSPOUT, COLOUR TIMBER BARK.
10	PARGING, COLOUR GREY
11	WOODBURNING STOVE CHIMNEY, INSTALLED AS PER MANUFACTURERS INSTRUCTIONS



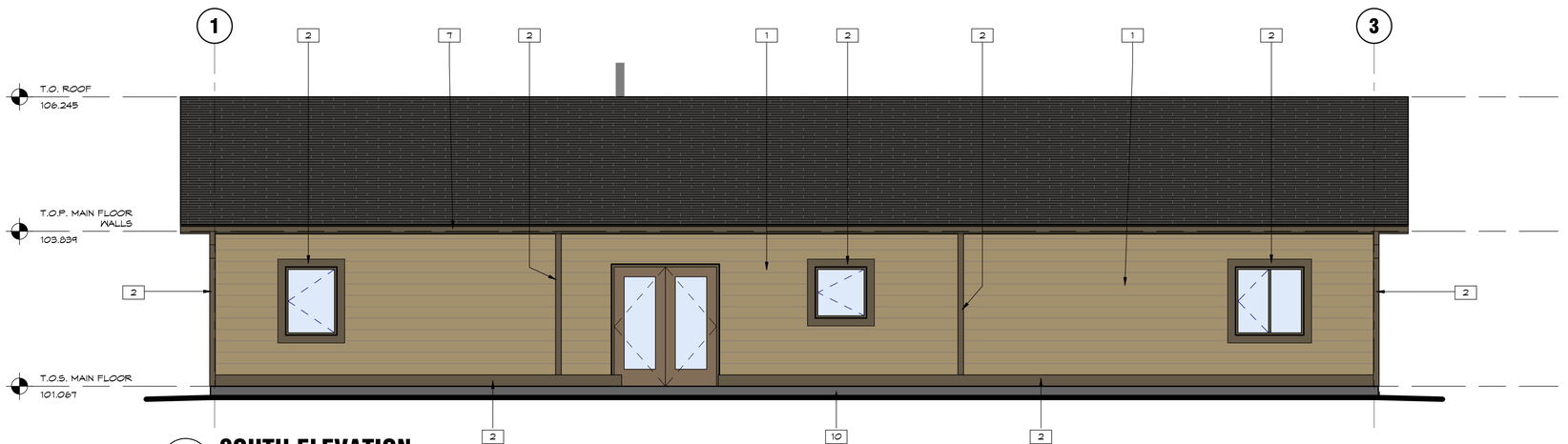
2 A4.0 **EAST ELEVATION**

SCALE = 1/4" = 1'-0"



4 A4.0 **WEST ELEVATION**

SCALE = 1/4" = 1'-0"



3 A4.0 **SOUTH ELEVATION**

SCALE = 1/4" = 1'-0"

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

PROJECT TITLE

5480 AQAM SINGLE FAMILY HOUSING

5480 Mission Wasa Low Rd, ?AQ'AM, BC

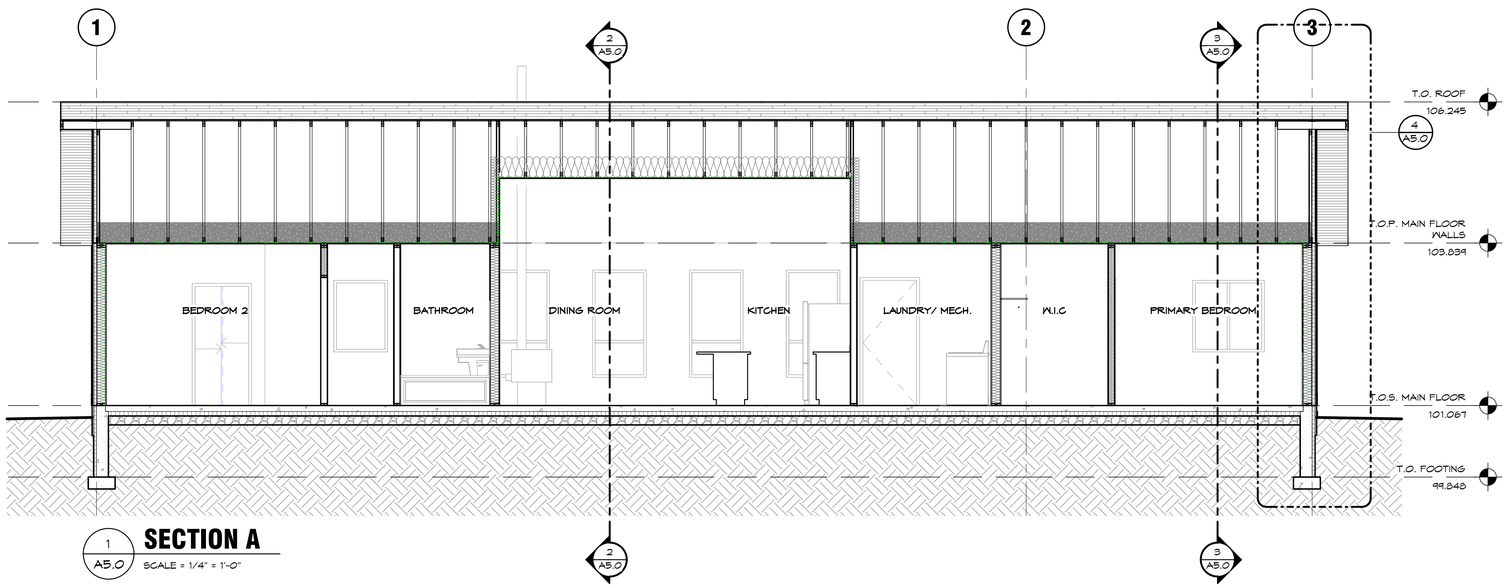
DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

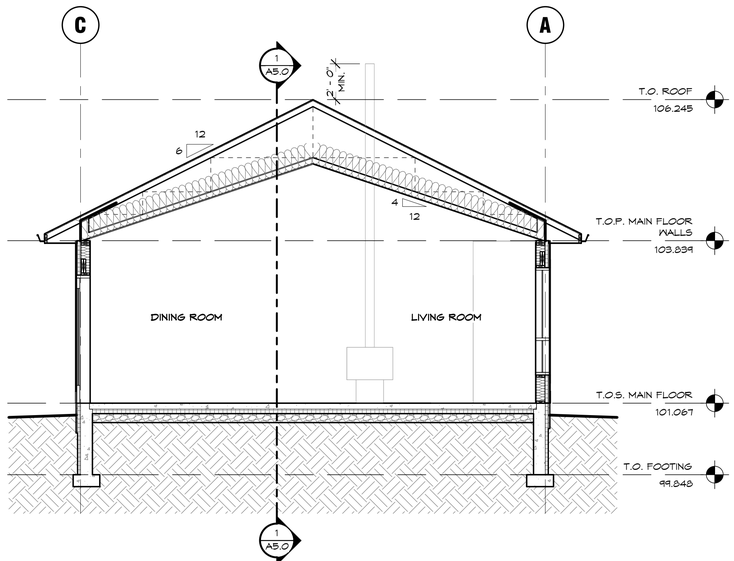
SCALE: 1/4" = 1'-0"
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1

A4.0

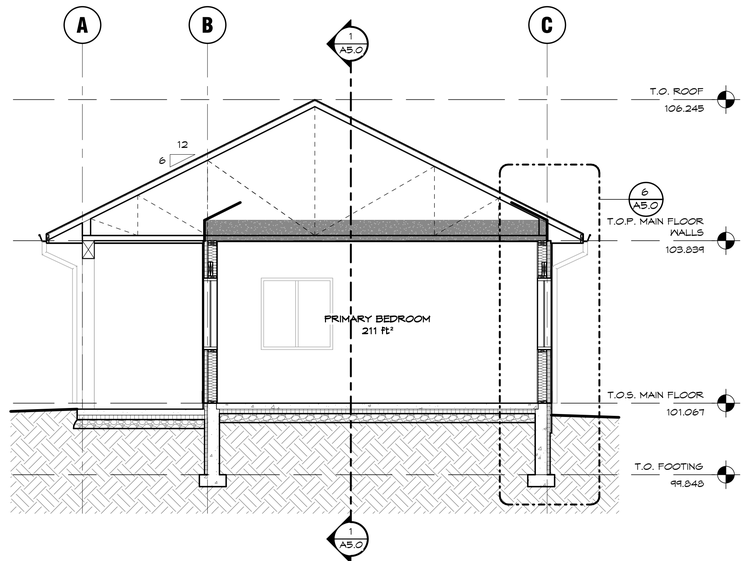
2024-10-25 2:58:21 PM



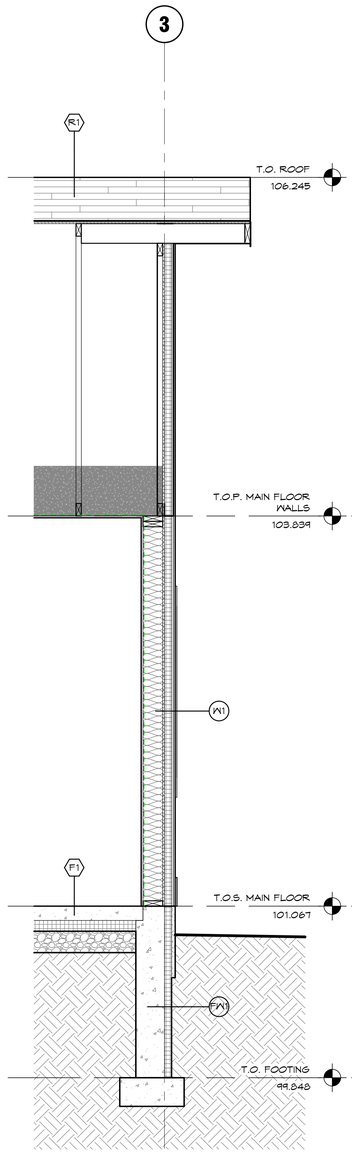
1 A5.0 **SECTION A**
SCALE = 1/4" = 1'-0"



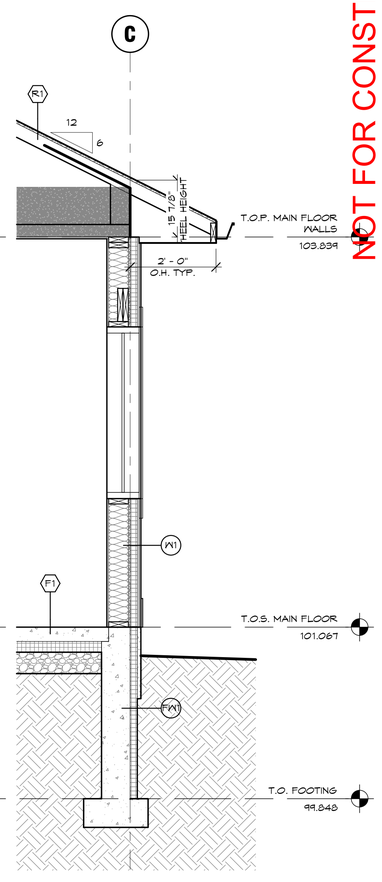
2 A5.0 **SECTION B**
SCALE = 1/4" = 1'-0"



3 A5.0 **SECTION C**
SCALE = 1/4" = 1'-0"



4 A5.0 **WALL SECTION A**
SCALE =1 : 20



6 A5.0 **WALL SECTION B**
SCALE =1 : 20

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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

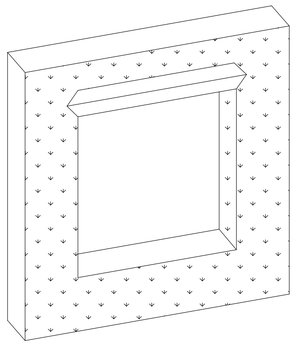
PROJECT TITLE
5480 AQAM SINGLE FAMILY HOUSING
5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE
BUILDING + WALL SECTIONS

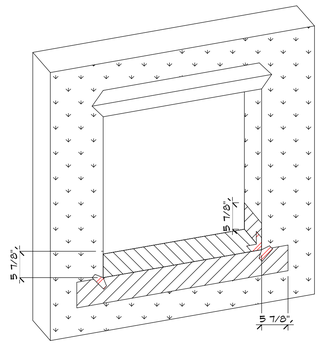
SCALE: As Indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1
A5.0

2024-10-25 2:58:21 PM

1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS. CREATE AIR BARRIER FLAP AT WINDOW HEAD.



2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300mm LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE 150mm UP EACH JAMB. LAP THE OVERHANGING FLASHING DOWN ONTO THE WALL, COVERING THE AIR BARRIER. APPLY BOXTIE PATCH TO BOTTOM CORNERS.



3. APPLY SEALANT TO WINDOW MOUNTING FLANGE (JAMBS AND HEAD ONLY). INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

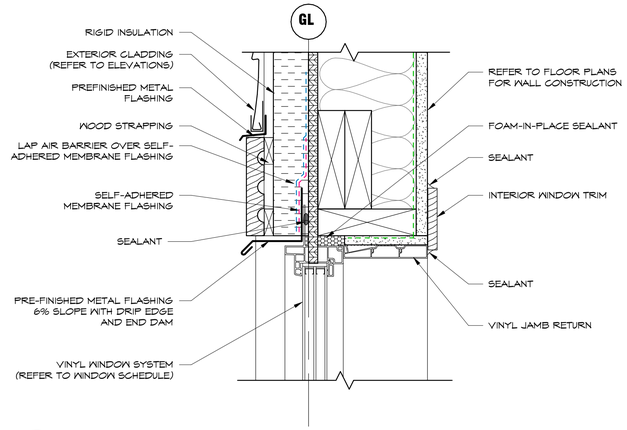
4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.

5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.

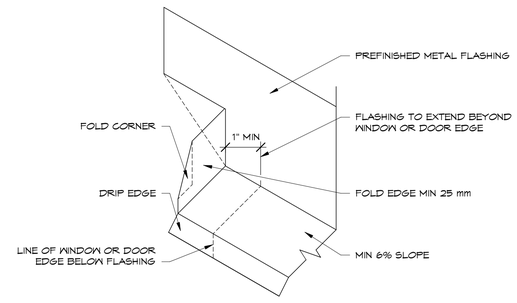
6. RELEASE AIR BARRIER FLAP AND SEAL.

FLASHING WIDTH
THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

A1 / A7.0 **WINDOW FLASHING SEQUENCING DETAIL**
SCALE = 3/4" = 1'-0"

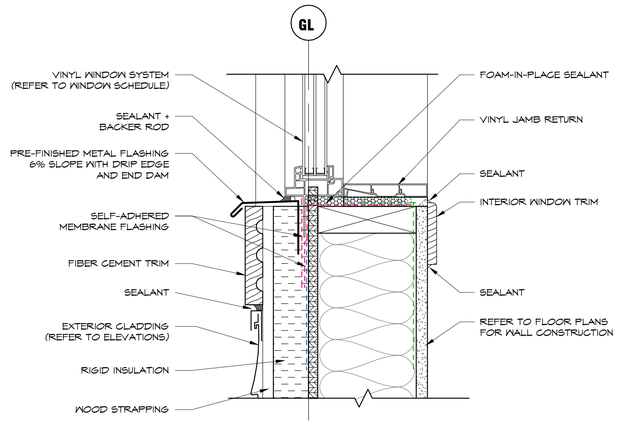


D4 / A7.0 **WINDOW HEADER DETAIL**
SCALE = 3" = 1'-0"

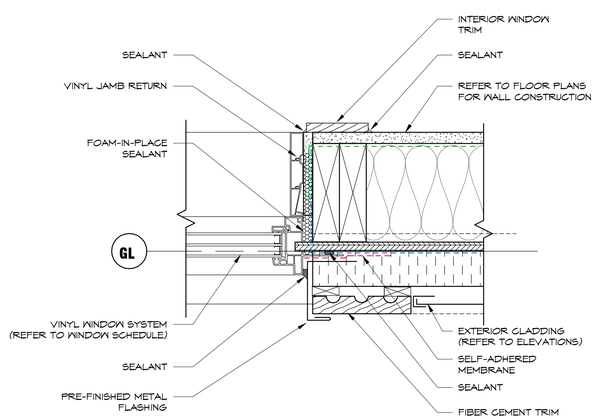


NOTE: CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

1 / A7.0 **CLOSED END DAM FLASHING DETAIL**
SCALE = 6" = 1'-0"



B4 / A7.0 **WINDOW SILL DETAIL**
SCALE = 3" = 1'-0"



A4 / A7.0 **WINDOW JAMB DETAIL**
SCALE = 3" = 1'-0"

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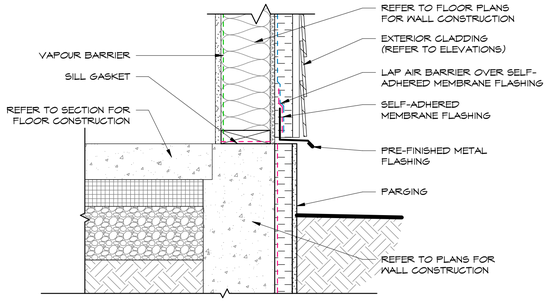
PROJECT TITLE
5480 AQAM SINGLE FAMILY HOUSING
5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE
DETAILS

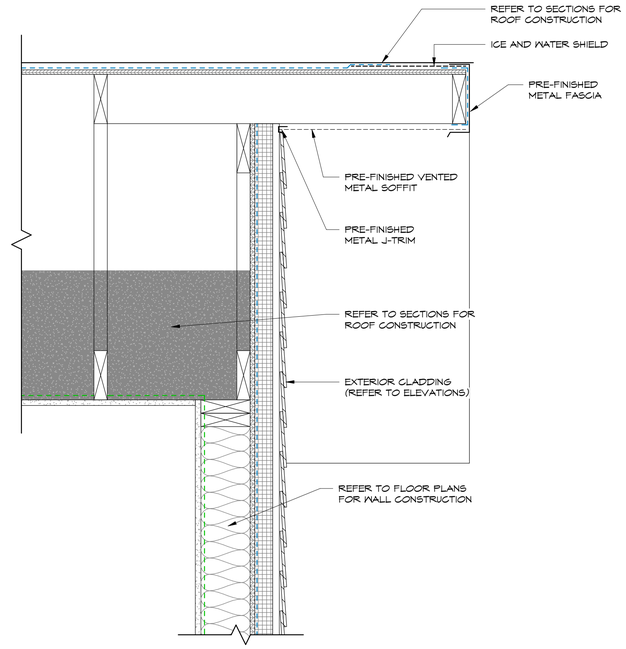
SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1
A7.0

2024-10-25 2:58:21 PM



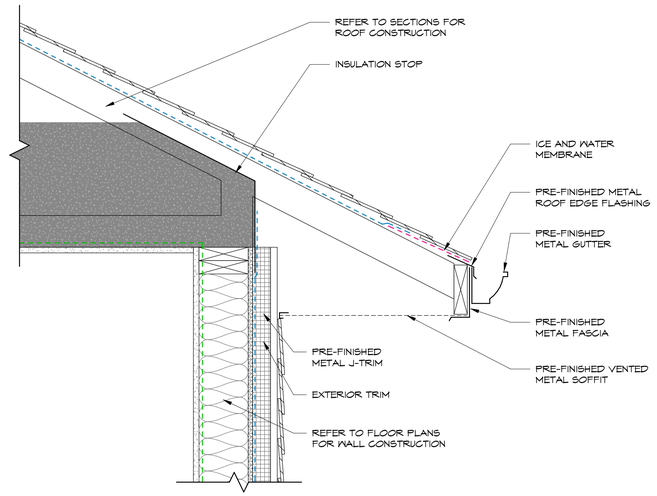
D1 / A7.1 **FOUNDATION WALL TO WOOD WALL DETAIL**

SCALE = 1 1/2" = 1'-0"



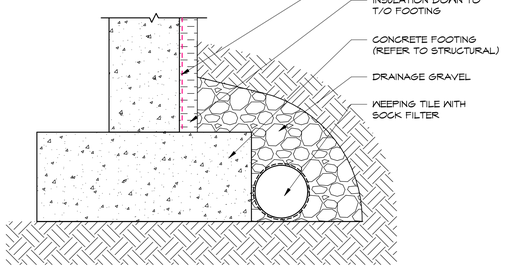
C3 / A7.1 **ROOF GABLE END DETAIL**

SCALE = 1 1/2" = 1'-0"



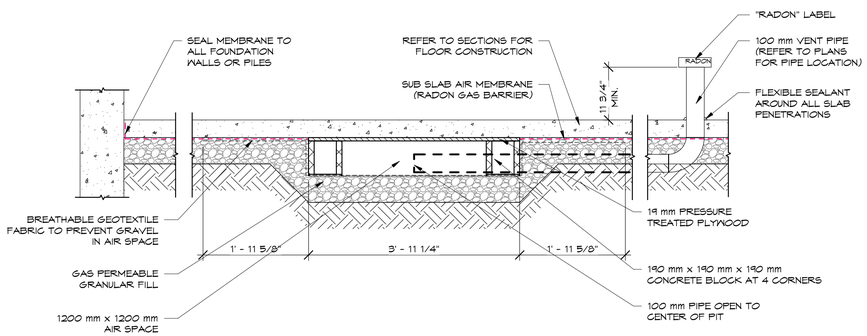
D4 / A7.1 **ROOF OVERHANG DETAIL**

SCALE = 1 1/2" = 1'-0"



B1 / A7.1 **CONCRETE FOOTING DETAIL**

SCALE = 1 1/2" = 1'-0"



B4 / A7.1 **RADON PIT SECTION DETAIL**

SCALE = 3/4" = 1'-0"

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

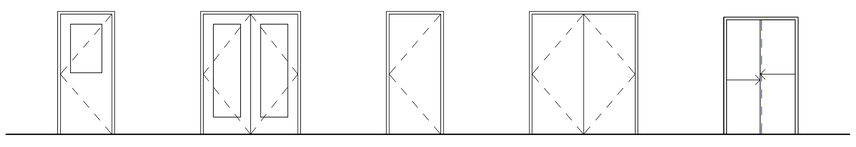
	LOCATION		DOOR			
DOOR #	FROM ROOM	TO ROOM	ELEV.	WIDTH	HEIGHT	NOTES
100	EXTERIOR	MUD ROOM	1	3' - 0"	7' - 0"	EXTERIOR INSULATED DOOR
101	MUD ROOM	PRIMARY BEDROOM	3	2' - 8"	7' - 0"	
102	PRIMARY BEDROOM	W.I.C	3	2' - 6"	7' - 0"	
103	PRIMARY BEDROOM	BATHROOM	3	2' - 8"	7' - 0"	
104	MUD ROOM	LAUNDRY/ MECH.	3	3' - 0"	7' - 0"	
105	DINING ROOM	EXTERIOR	6	6' - 0"	7' - 0"	EXTERIOR INSULATED DOOR
106	LINEN CLOSET	CORRIDOR	4	4' - 0"	7' - 0"	
107	CORRIDOR	BATHROOM	3	2' - 8"	7' - 0"	
108	CORRIDOR	OFFICE	3	2' - 8"	7' - 0"	
109	CORRIDOR	BEDROOM 2	3	2' - 8"	7' - 0"	
110	CORRIDOR	BEDROOM 3	3	2' - 8"	7' - 0"	
111	BEDROOM 2	CLOSET	5	3' - 0"	6' - 8"	
112	BEDROOM 3	CLOSET	5	3' - 0"	6' - 8"	

Window Schedule

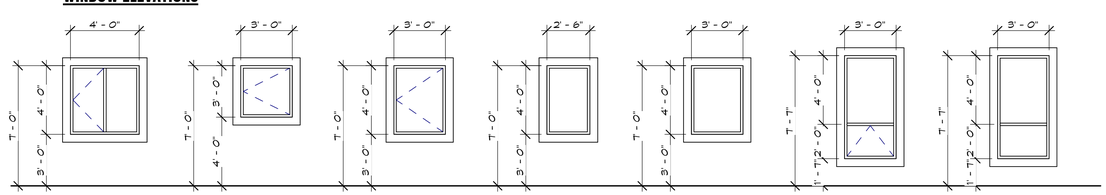
Type Mark	Width	Height
A	4' - 0"	4' - 0"
B	3' - 0"	3' - 0"
C	3' - 0"	4' - 0"
D	2' - 6"	4' - 0"
E	3' - 0"	4' - 0"
F	3' - 0"	6' - 0"
G	3' - 0"	6' - 0"

DOOR ELEVATIONS

NOTE: DOOR STYLES BY OWNER



WINDOW ELEVATIONS



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SEALS

KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
2024 10 25	IFT

PROJECT TITLE

5480 AQAM SINGLE FAMILY HOUSING

5480 Mission Wasa Low Rd, ?AQ'AM, BC

DRAWING TITLE

DETAILS, DOOR + WINDOW SCHEDULES

SCALE: As indicated
DRAWN: BS
CHECKED: RR/AF
May '24
24-027-1

A7.1

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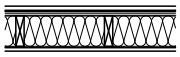
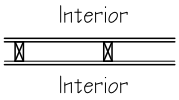
Construction Assemblies

5480 Mission Wasa Low Road, Aqam FN



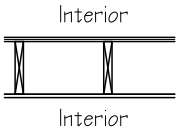
EXTERIOR WALL CONSTRUCTION

EXTERIOR SIDING (SEE SCOPE)
AIR/MOISTURE BARRIER (SEAMS TAPED & SEALED)
RAIN SCREENED SYSTEM
1/2" PLY SHEATHING
2X6 @ 16" KD SPRUCE STUDS
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
1/2" DRYWALL



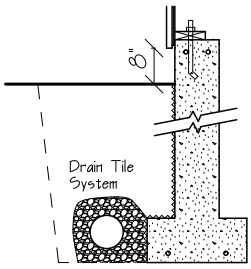
INTERIOR WALL CONSTRUCTION

1/2" DRYWALL BOTH SIDES
2X4 @ 16" KD SPRUCE (2X6 WHERE SCOPED)



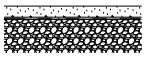
FLOOR CONSTRUCTION

5/8" T&G OSB (GLUE & SCREW)
2X10 FLOOR JOISTS AS SCOPED
2X2 CROSS BRIDGING AS REQUIRED
1/2" DRYWALL



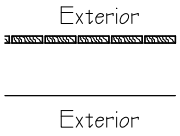
FOUNDATION WALL CONSTRUCTION

8" CONCRETE WALL
REINFORCE AS PER SCOPE
DAMPPROOF 2 COATS BELOW GRADE
18" X 8" CONC. FOOTING
REINFORCE AS PER SCOPE
ON SOLID BEARING OR COMPACTED GRANULAR FILL
BELOW FROST LEVEL
(SEE SCOPE FOR INSULATION)



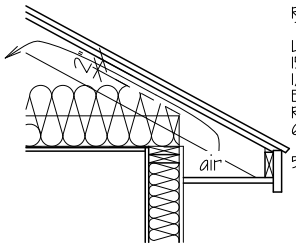
CRAWL SPACE SKIM COAT

2" CONCRETE SLAB
6 MIL POLY
6" MIN. COMPACTED GRAVEL



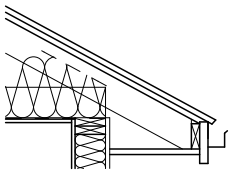
DECK CONSTRUCTION (WOOD)

5/4 X 6 PR. TR. WOOD DECK
DECK JOISTS AS PER SCOPE



ROOF CONSTRUCTION

LAMINATED ASPHALT SHINGLES
15 LB NON-PERF. ASPH. FELT W/SELF ADHERED EAVE PROT.
1/2" PLYWOOD SHEATHING
ENGINEERED ROOF TRUSSES @ 24" OC
R60 BATT INSULATION
6 MIL POLY VAPOUR BARRIER SEALED/LAPPED
(POLYPANS AT JUNCTION BOXES)
5/8" DRYWALL

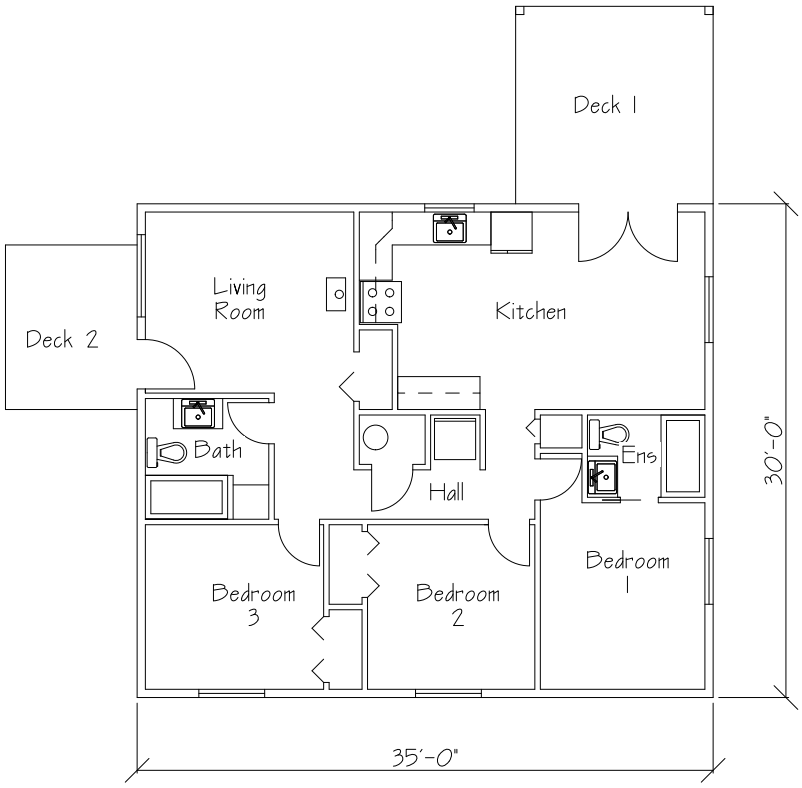


OVERHANG CONSTRUCTION

GUTTER AS PER SCOPE
2X8 COMB FACE FASCIA
PERFORATED ALUM SOFFIT

Floor Layout

5480 Mission Wasa Low Road, Aqam FN



Main Floor 5480